## Gavilan College Library & Student Resource Center (LSRC)

### **Schematic Design Submittal**

### Section 2 Outline Specifications



## LIBRARY STUDENT RESOURCE CENTER (LSRC)

Gavilan College 5055 Santa Teresa Blvd. Gilroy, CA. 95020



October 6, 2023 SCHEMATIC DESIGN

#### **OUTLINE SPECIFICATION**

#### **DIVISION 00 – PROCUREMENT AND CONTRACTING REQUIREMENTS**

#### **DIVISION 01 – GENERAL CONDITIONS**

- 01 56 39 Temporary Tree and Plant Protection
  - A. General Description of Scope:
    - 1. Review of existing-to-remain trees in and near project work area by ISA Certified Arborist. Review to occur prior to mobilization and during construction.
    - 2. Submit photos of tree prior to construction beginning.
    - 3. Implement Arborist's recommendations to preserve trees such as:
      - a. Installation of temporary snow fence at dripline of tree.
      - b. Installation of 3" of mulch within snow fencing.
      - c. Canopy and root pruning as supervised by Arborist.

#### APPENDICES

#### **DIVISION 02 – EXISTING CONDITIONS**

02 41 19 Selective Demolition

- A. General Description of Scope:
  - 1. Demolition and removal, disconnecting, capping, and sealing, and abandoning in place of selected site elements.
  - 2. Salvage of existing items to be reused or recycled.
  - 3. Abandoning in-place and/or removing below-grade construction.

#### **DIVISION 03 – CONCRETE**

- 03 21 00 Reinforcing Steel
  - A. Reinforcing Bars
    - 1. Deformed billet steel bars, ASTM A615 or A706, plain finish, see drawings for grade. ASTM A706 for bars to be welded, and elsewhere as defined on drawings.
  - B. Welded Wire Fabric
    - 1. Provide plain type, ASTM A185, in coiled rolls, or flat sheets, plain finished, void of rust, dust, scale, paint, grease and other coatings.
  - C. Accessories
    - 1. Provide minimum 16 gage galvanized annealed tie wires, and chairs, bolsters, bar supports, and spacers sized and shaped for strength and support of reinforcing. Plastic accessories may be acceptable if approved by Architect prior to use.
- 03 30 00 Cast-In-Place Concrete
  - A. Concrete Materials
    - 1. Portland Cement: ASTM C 150, Type II.
      - a. Fly Ash: ASTM C 618, Class N or F.
    - 2. Normal-Weight Aggregate: ASTM C 33, uniformly graded.
      - a. Fine Aggregate: Minimum sand equivalent (ASTM D2410) is 80.
      - b. Coarse Aggregate: Minimum cleanness value (Caltrans Test cv 227) is 80.
      - c. Do not use aggregates containing spalling-causing deleterious substances.
    - 3. Water: Potable and complying with ASTM C 94.

- B. Admixtures
  - 1. General: Admixtures certified by manufacturer to contain not more than 0.1 percent watersoluble chloride ions by mass of cementitious material and to be compatible with other admixtures and cementitious materials. Do not use admixtures containing calcium chloride
  - 2. Air-Entraining Admixture: ASTM C 260
  - 3. Water-Reducing Admixture: ASTM C 494, Type A
  - 4. High-Range, Water-Reducing Admixture: ASTM C 494, Type F
  - 5. Water-Reducing and Accelerating Admixture: ASTM C 494, Type E
- C. Curing Materials
  - 1. Absorptive Cover: AASHTO M 182, Class 2, burlap cloth made from jute or kenaf, weighing approximately 9 oz./sq. yd. dry.
  - 2. Moisture-Retaining Cover: ASTM C 171, polyethylene film or white burlap-polyethylene sheet.
  - 3. Water: Potable
- 03 35 00 Concrete Finishing
  - A. Single application cure-seal-hardener for new concrete floors:
    - 1. Cure-Densifier-Hardener.
    - 2. Basis-of-Design: Curecrete, "Ashford Formula".
- 03 54 00 Portland Cement Based Underlayment
  - A. Basis-of-Design: ARDEX K-15, Premium Self-Leveling Underlayment.
  - B. Manufacturer: Ardex Americas.

#### **DIVISION 04 – MASONRY**

- 04 22 00 Concrete Unit Masonry
  - A. Concrete Masonry Units
    - 1. Manufacturer
      - a. Basalite Concrete Products, LLC (Specified), 605 Industrial Way, Dixon, CA 95620, Phone: 707-678-1901, <u>www.basalite.com</u>
      - b. Approved equal
      - c. Obtain all CMU from a single manufacturer.
  - B. Mortar and Grout
    - 1. Cement: ASTM C150, Type I or II, low alkali; natural gray
    - 2. Hydrated Lime: ASTM C207, Type S
    - 3. Quicklime: ASTM C5
    - 4. Lime Putty
      - a. If made from quicklime, other than processed pulverized quicklime, slake lime, and then screen through a No. 16 mesh sieve. Before using, store and protect slaked and screened lime putty for not less than 10 days.
      - b. Processed pulverized quicklime shall be slaked for not less than 48 hours, and shall be cool when used.
      - c. Lime putty prepared from hydrated lime may be used immediately after mixing.
      - d. Lime putty prepared from quicklime or pulverized quicklime shall have a plasticity figure, after slaking and screening, of not less than 200, and shall weigh not less than 83 lbs. per cubic foot. Lime putty prepared from hydrated lime shall conform to ASTM C 207, Type S.
    - 5. Aggregate
      - a. For Mortar: ASTM C144
      - b. For Grout: ASTM C404
    - 6. Grout admixture: "Sika Grout Aid"

- 7. Water: Suitable for domestic consumption
- 8. Water Repellent Mortar Admixture: Integral liquid polymeric water-repellent admixture for mortar added to the mortar at the time of mixing for use in the construction of water-repellent concrete masonry.
  - a. Product: Provide the following: RainBloc for Mortar, an integral liquid polymeric waterrepellent admixture manufactured by ACM Chemistries, Inc., or approved equal
- 9. Mortar shall be Amerimix Type S by Basalite or approved equal. Color(s) as noted on Drawings or selected during the submittal process.
- 10. Mortar shall be Type S having a 28-day compressive strength of not less than 2,000 psi and shall conform to CBC Section 2103A.2.
- C. Surface Applied Water Repellent
  - 1. Sure Klean Weather Seal by PROSOCO. Use either Sure Klean Weather Seal Siloxane WB Concentrate or Sure Klean Weather Seal Siloxane PD prediluted water repellent.
  - 2. Or approved equal.
- 04 43 13.16 Adhered Stone Masonry Veneer
  - A. Quarried Stone Veneer:
    - 1. Basis-of-Design: KO Natural Stone.
    - 2. Product: Signature Series, Monterey Estate; a blend of limestone and sandstone.
      - a. Material Standard: Comply with ASTM C568/C568M.
        - i. Classification: II Medium Density.
      - b. Description: Dolomitic limestone.
  - B. Mortar Cement: ASTM C1329/C1329M.
    - 1. Manufacturer: Lafarge North America Inc.
  - C. Miscellaneous Masonry Accessories:
    - 1. Compressible Filler: Pre-molded filler strips complying with ASTM D1056, Grade 2A1; compressible up to 35 percent; of width and thickness indicated; formulated from neoprene urethane or PVC.
    - 2. Cementitious Damp-proofing for Limestone: Cementitious formulation recommended by ILI and non-staining to stone, compatible with joint sealants, and noncorrosive to veneer anchors and attachments.
    - 3. Lath Attachment Devices: Material and type required by ASTM C1063 for installations indicated.
  - D. Masonry Cleaners:
    - 1. Proprietary Acidic Cleaner: Manufacturer's standard-strength cleaner designed for removing mortar and grout stains, efflorescence, and other new construction stains from stone masonry surfaces without discoloring or damaging masonry surfaces; expressly approved for intended use by cleaner manufacturer and stone producer.
    - 2. Manufacturers:
      - a. Diedrich Technologies, Inc.; a Hohmann & Barnard company.
      - b. Hydroclean; Hydrochemical Techniques, Inc.
      - c. PROSOCO, Inc.

#### **DIVISION 05 – METALS**

- 05 12 00 Structural Steel
  - A. Materials and Components
    - 1. Structural Steel Members: Type for general construction, weldable steel, conforming to requirements of ASTM A36, A36/A572, or A992 as per plans, and as required, shop primed or galvanized where left exposed to elements of weather. Title 24, 2203A.1 and 2205A
    - 2. Structural Pipe: Provide ASTM A53, (Type E or S) or A501

- 3. Tube Steel: Provide ASTM A500 Grade C Type or ASTM A1085
- 4. Cast Steel: Provide in accordance with A27
- 5. Machine Bolts: ASTM A307
- 6. High strength bolts: ASTM F3125 Grade A325 or ASTM F3125 Grade A490
- 7. Comply with Title 24, Section 2205A.
- 8. Anchor Rods: As specified on drawings.
- B. Light Structural Steel
  - 1. Standard Specifications for Flat-Rolled Carbon Steel Sheets of Structural Quality, ASTM A570 or A611, A446
  - Standard Specifications for Hot-Formed Welded and Seamless Carbon Steel Structural Tubing, ASTM A36 and A501, or Cold Formed Tubing, ASTM A500, Grade C or ASTM A1085
- C. Welding Electrodes
  - 1. Conform to AWS D1.1-15 & Section 2204A.1, Title 24, Classification E70 series as required for rigid frames the electrodes shall meet Charpy V-notch 20 ft. lbs. At minus 20 degrees F
- D. Galvanizing
  - 1. Provide hot-dip galvanizing in accordance with ASTM A123 Standard Specification for Zinc (Hot-Dip Galvanized) Coatings on Iron and Steel Products
- E. Primer
  - 1. Provide Themec 10-99, zinc chromate, or other approved.
  - 2. Clean, prepare and shop prime members in accordance with SSPC. Do not prime specific surfaces to be welded or which will be embedded in concrete or other cementitious materials.
  - 3. Do not apply primer to structural steel framing members to be encased in cementitious sprayon fireproofing.
- F. Other Materials
  - 1. Provide other materials, not specifically described or indicated but required for a complete and proper installation, as selected by Contractor subject to acceptance by Engineer.

#### 05 30 00 Metal Decking

- A. Roof and Floor Deck
  - 1. Manufacturer: Per construction drawings
  - 2. Fabricate panels, without top-flange stiffening grooves, to comply with SDI standards and with the following:
    - a. Prime-Painted Steel Sheet: ASTM A 1008/A 1008M, Structural Steel (SS), Grade 50 minimum unless noted otherwise in construction drawings, shop primed with manufacturer's standard baked-on, rust-inhibitive primer.
      1. Color: Manufacturer's standard
    - b. Galvanized-Steel Sheet: ASTM A 653/A 653M, Structural Steel (SS), Grade 50 unless noted otherwise in construction drawings, G60 zinc coating.
    - c. Galvanized and Shop-Primed Steel Sheet: ASTM A 653/A 653M, Structural Steel (SS), Grade 50 unless noted otherwise in construction drawings, G60 zinc coating; cleaned, pretreated, and primed with manufacturer's standard baked-on, rust inhibitive primer.
    - d. Aluminum-Zinc-Alloy-Coated Steel Sheet: ASTM A 792/A 792M, Structural Steel (SS), Grade 50 minimum unless noted otherwise in construction drawings, AZ50 aluminum-zinc-alloy coating.
    - e. Deck Profile: As indicated.
    - f. Profile Depth: As indicated.
    - g. Design Uncoated-Steel Thickness: As indicated.
    - h. Design Uncoated-Steel Thicknesses; Deck Unit/Bottom Plate: As indicated.
    - i. Span Condition: Double span, minimum.

j. Side Laps: Overlapped or interlocking seam at Contractor's option.

#### B. Accessories

- 1. General: Provide manufacturer's standard accessory materials for deck that comply with requirements indicated.
- 2. Mechanical Fasteners: Corrosion-resistant, low-velocity, power-actuated or pneumatically driven carbon-steel fasteners; or self-drilling, self-threading screws.
- 3. Side-Lap Fasteners: Corrosion-resistant, hexagonal washer head; self-drilling, carbon-steel screws, No. 10 (4.8-mm) minimum diameter.
- 4. Flexible Closure Strips: Vulcanized, closed-cell, synthetic rubber.
- 5. Miscellaneous Sheet Metal Deck Accessories: Steel sheet, minimum yield strength of 50,000 psi (345 MPa), not less than 0.0359-inch (0.91-mm) design uncoated thickness, of same material and finish as deck; of profile indicated or required for application.
- 6. Pour Stops and Girder Fillers: Steel sheet, minimum yield strength of 50,000 psi (345 MPa), of same material and finish as deck, and of thickness and profile recommended by SDI Publication No. 31 for overhang and slab depth.
- 7. Column Closures, End Closures, Z-Closures, and Cover Plates: Steel sheet, of same material, finish, and thickness as deck unless otherwise indicated.
- 8. Piercing Hanger Tabs: Piercing steel sheet hanger attachment devices for use with floor deck
- 9. Weld Washers: Uncoated steel sheet, shaped to fit deck rib, 0.0747 inch (1.90 mm) thick, with factory-punched hole of 3/8-inch (9.5-mm) minimum diameter.
- 10. Flat Sump Plates: Single-piece steel sheet, 0.0747 inch (1.90 mm) thick, of same material and finish as deck. For drains, cut holes in the field.
- Recessed Sump Pans: Single-piece steel sheet, 0.0747 inch (1.90 mm) thick, of same material and finish as deck, with 3-inch- (76-mm-) wide flanges and level recessed pans of 1-1/2-inch (38-mm) minimum depth. For drains, cut holes in the field.
- 12. Galvanizing Repair Paint: ASTM A 780
- 13. Repair Paint: Manufacturer's standard rust-inhibitive primer of same color as primer.

#### 05 40 00 Cold-Formed Metal Framing

#### A. Materials

- 1. Steel Sheet: ASTM A 653/A 653M, structural steel, zinc coated, of grade and coating as follows.
  - a. Grade: As indicated on the drawings.
  - b. Coating: G90 (Z275).
- B. Non-Load Bearing Curtain Wall Framing.
  - 1. Steel Studs: Manufacturer's standard C-shaped steel studs, of web depths indicated, punched, with stiffened flanges, complying with ASTM C 955, and as follows:
    - a. Minimum Uncoated-Steel Thickness: As indicated on the drawings.
    - b. Flange Width: As indicated on the drawings.
  - 2. Steel Track: Manufacturer's standard U-shaped steel track, of web depths indicated, unpunched, with unstiffened (straight) flanges, complying with ASTM C 955, and as follows:
    - a. Minimum Uncoated-Steel Thickness: As indicated on the drawings.
    - b. Flange Width: As indicated on the drawings.
  - 3. Single Deflection Track: Manufacturer's single, deep-leg, U-shaped steel track; unpunched, with unstiffened flanges, of web depth to contain studs while allowing free vertical movement, with flanges designed to support horizontal and lateral loads, and as follows:
    - a. Minimum Uncoated-Steel Thickness: As indicated on the drawings.
    - b. Flange Width: As indicated on the drawings.
    - c. Vertical Deflection Clips: Manufacturer's standard bypass or head clips, capable of accommodating upward and downward vertical displacement of primary structure as indicated on the drawings.

#### 05 50 00 Metal Fabrications

- A. Items included in 05 50 00:
  - 1. Miscellaneous shapes and supports.
- B. Materials:
  - 1. Steel plates, shapes, and bars: ASTM A 36.
  - 2. Steel pipe: ASTM A 53, Standard Weight (Schedule 40).
  - 3. Steel tubing: ASTM A 500
  - 4. Finish: All exterior items galvanized; interior items shop primed.
  - 5. Z-furring strips: 2-1/2" deep x 20 gauge.

#### C. Premanufactured:

- 1. Handrail wall brackets: Julius Blum, Inc., #376.
- 2. Slotted channel framing: Unistrut Corporation; P1000 Series.
- 3. Aircraft cable: Stainless steel, 1/8-inch diameter, with clevis, fork, and eye fittings by Wagner/Braun or equal.
- 05 51 33
- A. Basis-of-Design: O'Keeffe's, Inc.
- B. Ladders:

Aluminum Ladders

- 1. Model 501 Heavy Duty Tubular Rail Fixed Access Ladder.
- 2. Components:
  - a. Standard Floor Mounting Bracket.
  - b. Standard Intermediate Wall Bracket.
  - c. Off Floor Mounting Bracket.
  - d. Security Door.

#### 05 52 00 Metal Railings

- A. Schedule 40 stainless steel railings.
- B. Galvanized post sleeves. Size to fit post.
- C. Non-shrink grout for sleeves.

#### 05 55 16 Metal Stair Nosings

- A. Basis-of-Design: Wooster Products.
- B. Stair Nosing:
  - 1. Model: M231BF-NG, 3" wide.
  - 2. Nosing Locations:
    - a. At top and bottom treads at all interior stairs indicated in drawings.
    - b. At each stair tread and landing edge at all exterior stairs indicated in drawings.

#### 05 58 13 Metal Column Covers

- A. Basis-of-Design: Fry Reglet Corporation.
- B. Column Cover:
  - 1. Model: E-Series, Economical, Butt-Joint.
  - 2. Materials and Finishes:
    - a. Thickness: 0.125 inch aluminum.
      - i. Architectural Class I, Color Anodic Finish.
      - ii. Color: Dark Bronze.

#### **DIVISION 06 – WOOD, PLASTICS AND COMPOSITES**

- 06 16 43 Exterior Gypsum Sheathing
  - A. Non-Rated Gypsum Board.
  - B. Basis-of-Design: DensGlass Sheathing (1/2-inch thick).
  - C. Manufacturer: Georgia-Pacific Building Products.
- 06 20 23 Interior Finish Carpentry
  - A. Interior Millwork, Standing and Running Trim: Paint and Stain Grade.
    - 1. All Material Grades and Construction shall be WI Custom Grade, including all supplements, unless specified or indicated otherwise. Semi-exposed and other components shall be as permitted by WI standards for construction quality specified herein except as otherwise detailed or specified. Moisture content shall be in accordance with WI Standards for millwork.
  - B. Interior Wood Wall Paneling.
- 06 41 00 Architectural Wood Casework
  - A. Custom Fabricated Cabinet Units.
    - 1. Type: Flush Overlay, Style A Frameless.
    - 2. Quality: Provide casework conforming to AWS Custom grade.
  - B. Countertops: solid surfacing per section 06 61 16.
  - C. Cabinet Hardware.
  - D. Preparation for Installing Utilities.
- 06 61 16 Solid Surfacing Fabrications
  - A. Basis-of-Design: Corian by DuPont.
    - 1. Series: Private Collection.
    - 2. Color: As selected by the Architect from the Manufacturer's full color line.

#### **DIVISION 07 – THERMAL AND MOISTURE PROTECTION**

- 07 10 00 Below Grade Waterproofing
  - A. Waterproofing Materials:
    - 1. Sheet Waterproofing (Blindside) and Associated Components.
  - B. Acceptable Manufacturer: W.R. Meadows, Inc.
  - C. Basis-of-Design Product: Water-Based (Emulsion)
    - 1. PRECON LOW TEMP.
      - a. Description: Is a composite sheet membrane comprised of a non-woven fabric, elastomeric membrane, and plasmatic core. The plasmatic core is a seven-layer matrix designed for low water vapor transmission (WVT). Once concrete is poured against W.R. Meadows, PRECON LOW TEMP and the concrete cures, a mechanical bond forms that secures the concrete to the membrane.
      - b. Uses: Is used as a blindside membrane in vertical applications where access to the positive side is limited. The membrane can also be used for horizontal applications for underslab waterproofing and vaporproofing. This low temperature version can be installed in temperatures down to 25° F (-4° C).
    - 2. For Use With: MEL-DRAIN rolled matrix drainage system.
    - 3. At End Laps: HYDRALASTIC 836 or MEL-ROL liquid membrane
- 07 13 26 Self-Adhering Sheet Waterproofing
  - A. Modified Bituminous Sheet Waterproofing:
    - 1. General Underlayment.
    - 2. Roofing Underlayment.
    - 3. Flexible Membrane Flashing.

- B. Basis-of-Design: Underlayment.
  - 1. General Waterproofing:
    - a. GCP Applied Technologies, Bituthene 4000
    - b. Carlisle Coatings and Waterproofing Inc., CCW MiraDRI 860/861
    - c. Henry Company, Blueskin WP 200
    - d. Or Equal.
  - 2. Roofing Underlayment:
    - a. GCP Applied Technologies, Ice and Water Shield HT
    - b. Imetco, Aquablock 60
    - c. Or Equal
- C. Basis-of-Design: Flexible Membrane Flashing At Penetrations
  - 1. GCP Applied Technologies, Vycor 40
  - 2. GCP Applied Technologies, Perm A Barrier Wall Flashing
  - 3. DuPont FlexWrap
  - 4. DuPont StraightFlash
  - 5. DuPont Thru-Wall Surface Adhered Membrane with Integrated Drip Edge
  - 6. DuPont Preformed Inside and Outside Corners and End Dams
  - 7. Or Equal
- Thermal and Acoustical Insulation
  - A. Product: Fiberglass Batt Acoustical Insulation:
    - 1. Manufacturer: Johns Manville.
      - a. Type: Glass fiber batt, friction fit, unfaced.
      - b. Facing: None.
      - c. Thickness: At interior walls R-11, unfaced.
  - B. Product: Fiberglass Batt Thermal Insulation:
    - 1. Manufacturer: Johns Manville.
      - a. Within Closed Wall Cavity: R-19 pre-formed kraft-faced fiberglass batts at all exterior walls.
      - b. Exterior Wall Batt Insulation Exposed to Spaces Above Ceiling: R-19 Preformed foilfaced fiberglass batts at all exterior walls.
      - c. In All Exterior Soffits: Unfaced batts, in thicknesses sufficient to fill the entire cavity.
    - d. At Mechanical Curbs: As described in drawings.
  - C. Product: Polyisocynaurate (Foam) Boar Insulation:
    - 1. Manufacturer: Johns Manville.
      - a. Basis of Design: AP Foil-Faced Rigid Foam Sheathing.
      - b. Description: Foil-faced, rigid foam insulating sheathing product recommended for concealed uses.
      - c. Construction: Foam bonded on both sides in the manufacturing process to foil facers. One side has a printed reflective foil faced and the other side has a printed non-reflective foil facer.
- 07 22 00 Roof and Deck Insulation
  - A. Basis-of-Design: Johns Manville, ENRGY 3.
    - 1. Polyisocyanurate Board Insulation: ASTM C1289, Type II, Class 1, Grade 2 (20 psi).
    - 2. Thickness: Approximate 5 inches total thickness, composed of layers achieving specified thermal insulation value.
    - 3. Thermal Value: Provide minimum R-30 total LTTR assembly value.
    - 4. Refer to Section 07 54 16 Ketone Ethylene Ester (KEE) Roofing.

07 21 10

- 07 26 16 Below-Grade Vapor Retarders
  - A. Manufacturers:
    - 1. Stego Industries Stego Wrap, 15 mil vapor barrier, Class A.
    - 2. W.R. Meadows, Perminator, 15 mil vapor barrier.
    - 3. Henry, Moistop Ultra 15.
- 07 27 26 Fluid-Applied Membrane Air Barriers, Vapor-Permeable
  - B. Basis-of-Design: Hohmann & Barnard, Inc.
    - 1. Product: Enviro-Barrier VP.
  - C. Basis-of-Design: Sika.
    - 1. Product: Sikagard 535 Liquid Applied Acrylic Vapor Permeable Air Barrier.
- 07 42 13 Formed Metal Wall Panels
  - A. Basis-of-Design: AEP Span, preformed metal wall panels.
  - B. Products: Flex Series. A mix and match combination of (4) four different panel profiles in order to achieve a variegated rib pattern.
    - 1. Flex Series 1.2FX10-12
    - 2. Flex Series 1.2FX20-12
    - 3. Flex Series 1.2FX30-12
    - 4. Flex Series 1.2FX40-12
  - C. Exterior Panel Color: As selected from the Manufacturer's full range.
    - 1. Primary Color Choice: Cool Sage Green (SRI: 41, LRV: 21).
    - 2. Secondary Color Choice: Cool Pebble (SRI: 48, LRV: 27.).
- 07 46 46 Fiber Cement Siding
  - A. Basis-of-Design: James Hardie Building Products, Inc.
    - 1. Specialty Plank Siding: Artisan HZ5 Siding, Tongue and Groove.
    - 2. V-Groove 8-1/4 inches with 7 inches exposure.
    - 3. Finish: PrimePlus factory primer and sealer. Final finish color to be selected by the Architect and applied in the Field by the Contractor.
- 07 54 16 Ketone Ethylene Ester (KEE) Roofing
  - A. Polyvinyl-Chloride Roofing Membrane PVC with KEE Plasticizer.
    - 1. Basis-of-Design: Johns Manville JM PVC 80.
  - B. Coverboard: 1-layer 1/2" Dens Deck Prime by Georgia Pacific.
  - C. Tapered Insulation: See Section 07 22 00 Roof and Deck Insulation
  - D. Roof Insulation: See Section 07 22 00 Roof and Deck Insulation
  - E. Substrate Board: 1-layer 1/2" Dens Deck Prime by Georgia Pacific.
  - F. Walkways: Flexible walkways, factory-formed, nonporous, heavy-duty, slip-resisting, surface-textured walkway pads sourced from membrane roofing system manufacturer.
- 07 62 00 Sheet Metal Flashing and Trim
  - A. Items included:
    - 1. Coping, parapet, and cap flashings where not provided under Section 07 54 16 Ketone Ethylene Ester (KEE) Roofing.
    - 2. Reglets and counter-flashings.
    - 3. Closure panels at edges of roof (above roof decking), as indicated in Drawings.
    - 4. Steel pipe downspouts shall be provided under Section 05 50 00 Metal Fabrications. Coordinate associated work with that section.
    - 5. Sill and head flashings for openings.
    - 6. Misc. other sheet metal flashings and trims not specifically described above.

#### 07 72 00 Roof Accessories

- A. Roof Hatch:
  - 1. Basis-of-Design: Type F Ladder Access Roof Hatch by the BILCO Company.
  - 2. Type and Size: Single-leaf lid, 36-inches by 48 inches.
- B. Guards:
  - 1. Basis-of-Design: Bil-Guard 2.0 Roof Hatch Safety Railing System by the BILCO Company.
- C. Telescoping Safety Post:
  - 1. Basis-of-Design: Bilco LadderUp Safety Post model LU-2 by the BILCO Company.

#### 07 76 00 Hybrid Pedestal System

- A. Manufacturer: Tile Tech, Inc.
- B. Paver Pedestal System:
  - Porcelain Pavers: Tile Tech, "Wood Plank" Series.
     a. Size: Nominal 24" x 24" x 3/4".
  - 2. Pedestals: Pedestal Assembly ("Uni-Just") consists of 5 parts:
    - a. "Buffer Pads"
    - b. "Uni-Base"
    - c. "Uni-Collar"
    - d. "Uni-Insert"
    - e. "Uni-Cap"
  - 3. Use of Buffer Pads under "Uni-Just" Pedestal systems is MANDATORY to prevent slippage of system over substrates.
  - 4. *Ice and Water Shield Underlayment per Section 07 13 26, "Self-Adhering Sheet Waterproofing". Pedestals can be placed directly over this substrate, at Designer's option.*

#### 07 84 13 Penetration Firestopping

- A. Penetration Firestopping Systems: Systems that resist spread of fire, passage of smoke and other gases, and maintain original fire-resistance rating of construction penetrated. Penetration firestopping systems shall be compatible with one another, with the substrates forming openings, and with penetrating items if any.
- B. Manufacturers and Products:
  - 1. Hilti Corporation, "FS-ONE MAX" Firestop Intumescent Sealant.
  - 2. 3M Corporation, "CP 25WB+ Firestop Sealant.

#### 07 92 00 Joint Protection

- A. Interior and Exterior Sealants:
  - 1. Silicone Joint Sealants.
  - 2. Polyurethane Joint Sealants.
  - 3. Mildew-Resistant Joint Sealants.
  - 4. Butyl Sealants
  - 5. Acoustical Sealants
- B. Manufacturers:
  - 1. BASF Corporation.
  - 2. Dow Chemical Corporation.
  - 3. G.E. Silicones
  - 4. Pecora Corporation
  - 5. Sika Corporation, USA
  - 6. Tremco Corporation, USA

- 07 95 00 Expansion Control
  - A. Items included:
    - 1. Architectural joint systems for building interiors.
    - 2. Architectural joint systems for building exteriors.
  - B. Manufacturer: Construction Specialties (CS).
  - C. Non-Rated 6" Interior Expansion Joints.
    - 1. Floor: CS, SSR-600.
    - 2. Wall-to-Wall (Parallel): CS, SFC-600
    - 3. Wall-to-Wall (Perpendicular): CS, SCW-600.
  - D. Non-Rated 6" Exterior Expansion Joints:
    - 1. Wall-to-Wall (Perpendicular): CS, ESC-600
    - 2. Seal Material: Santoprene.
      - a. Color: As selected by the Architect from the Manufacturer's Standard Range.

#### **DIVISION 08 – OPENINGS**

- 08 11 13 Hollow Metal Doors and Frames
  - A. Doors: Basis-of-Design Steelcraft; An Allegion Company
    - 1. Non-Rated and Rated Steel Doors.
    - 2. Non-rated and Rated Metal Frames.
    - 3. Door Glazing
    - 4. Door Louvers
  - B. Materials Doors:
    - 1. Exterior doors shall be 16 gauge hot dipped galvannealed steel, with closed tops.
    - 2. Interior doors shall be 16 gauge commercial quality carbon steel.
    - 3. Wood Interior doors per section 08 14 00.
  - C. Materials Door Frames:
    - 1. Exterior frames shall be 16 gauge hot dipped galvannealed steel.
    - 2. Interior frames shall be 16 gauge commercial quality carbon steel.

#### 08 14 00 Wood Doors

- A. Wood doors, non-rated.
  - 1. Flush wood doors for transparent finish: Solid core with WI Custom Grade faces, wood veneer species, and cut as selected by Architect; finish: clear lacquer, satin sheen.
- B. Manufacturers: Provide flush wood doors by one of the following or equal:
  - 1. Masonite.
  - 2. VT Industries.

#### 08 31 13 Access Doors and Frames

- A. Door and Frame Products:
  - 1. Non-Rated Flush Access Door.
  - 2. Non-Rated Recessed Access Doors.
  - 3. Fire-Rated Access Doors.
- B. Manufacturers:
  - 1. Acudor
  - 2. Nystrom.
  - 3. Babcock-Davis.
  - 4. Milcor.

#### 08 32 13 Sliding Aluminum-Framed Glass Doors

A. Basis-of-Design: Walters & Wolf Interiors; Walters & Wolf VersaGlide.

- B. Finish: All exposed areas of aluminum and components as Clear Anodized Class II.
- 08 41 13 Aluminum-Framed Storefronts and Entrances
  - A. Basis-of-Design (Exterior): Kawneer; Trifab 451T (Thermal) Framing System.
  - B. Basis-of-Design (Interior): Kawneer; Trifab VG 450 (Non-Thermal) Framing System.
  - C. Finish:
    - 1. Exterior Storefronts: All exposed areas of aluminum and components as Dark Bronze.
    - 2. Interior Storefronts: All exposed areas of aluminum and components as Clear Anodized Class II.
  - D. Doors:
    - 1. Entrance Door: Kawneer 500 Swing Door.
    - 2. Aluminum Flush: Kawneer Flushline.
- 08 43 33 Folding Glass Storefronts
  - A. Basis-of-Design: NanaWall; SL45.
  - B. Finish:
    - 1. All exposed areas of aluminum and components as Clear Anodized Class II.
- 08 56 19 Pass-Thru Windows
  - A. Basis-of-Design (Exterior): Nissen & Company.
  - B. Type: Pass-Through Sliding Window.
    - 1. Horizontal Sliding: Series "E" Sliding Service Window without screen.
    - 2. Sizes: Custom to suit on-site conditions.
    - 3. Frames: Type 6063-T5 aluminum extrusions.
    - 4. Glazing: Tempered glass, exterior clear vision per Section 08 81 00.
    - 5. Lock: Slide Bolt lock.
    - 6. Track: Top hung nylon track.
    - 7. Finishes:
      - a. Anodized 204R-1 clear aluminite.
      - b. Concealed Steel Items: Primed with iron oxide paint.
      - c. Apply one coat of bituminous paint to concealed aluminum and steel surfaces in contact with cementitious or dissimilar materials.
- 08 71 00 Door Hardware (per Door Hardware Consultant)
  - A. Commercial Door Hardware for the following:
    - 1. Swinging doors.
    - 2. Other doors to the extent indicated.
  - B. Scheduled Door Hardware:
    - 1. Door Hardware Sets: Provide quantity, item, size, finish or color indicated, and named manufacturers' products.
    - 2. <u>Hardware Sets do not include door security. Keypads, card readers, fab readers, etc. to be</u> provided by the Low Voltage Consultant in consultation with the College's IT Department.
    - 3. *Hardware Sets at Sliding Aluminum-Framed Glass Doors and Folding Glass Storefronts are per those Manufacturers and listed in those individual specification sections.*
  - C. Hardware:
    - 1. Hinges
    - 2. Mechanical locks and latches
    - 3. Exit locks and exit alarms
    - 4. Door bolts
    - 5. Exit devices
    - 6. Lock Cylinders
    - 7. Keying

- 8. Keying control system
- 9. Operating trim
- 10. Accessories for pairs of doors.
- 11. Closers
- 12. Protective trim units
- 13. Stops and holders
- 14. Door gasketing
- 15. Thresholds

#### 08 81 00 Glass Glazing

- A. Glazing Products:
  - 1. Insulating Glass Unit, Fully Tempered.
  - 2. Tempered Vision Glass, Single Pane
  - 3. Standard Vision Glass, Single Pane
  - 4. Insulating Glass Unit, Fully Tempered / Obscured
  - 5. Composite Insulated Aluminum Spandrel Panels
- B. Glass Manufacturers:
  - 1. Vitro Architectural Glass
  - 2. Viracon, Inc.
  - 3. Oldcastle Glass, Inc.
  - 4. PPG Industries, Inc.
- C. Pre-Finished Glazing Spandrel (Infill) Panel;
  - 1. Basis-of-Design: Mapes-Ror.
  - 2. 1" inch thick panel with 0.125-inch thick, smooth textured, aluminum exterior and interior faces laminated to hardboard.
    - a. Finish: Kynar or approved equal on both sides of panel.
    - b. Color: As selected by Architect from manufacturer's full range.
- D. Spandrel Panel Manufacturers:
  - 1. Mapes Industries, Inc.

#### 08 90 00 Louvers and Vents

- A. Manufacturers:
  - 1. Airolite Company, LLC.
  - 2. Ruskin Company.
- B. Louver Products:
  - 1. Factory fabricated and assembled, complete with frame, mullions, and accessories; AMCA Certified in accordance with AMCA 511.
  - 2. Fixed Horizontal Drainable-Blade Louver, formed galvanized steel sheet construction, with intermediate mullions matching frame.
- C. Accessories:
  - 1. Blank-Off Panels.
  - 2. Screens
  - 3. Fasteners and Anchors
  - 4. Flashings.
  - 5. Sealant for Setting Sills and Sill Flashing.

#### **DIVISION 09 – FINISHES**

- 09 21 16 Gypsum Board
  - A. Manufacturers:
    - 1. USG Corporation.
    - 2. National Gypsum Company.

- 3. American Gypsum Company.
- 4. CertainTeed Corporation.
- 5. Georgia-Pacific Gypsum.
- B. Board Materials:
  - 1. Gypsum Wallboard.
  - 2. Impact Resistant Wallboard
  - 3. Backing Board for Wet Areas
  - 4. Exterior Sheathing Board
  - 5. Shaftwall and Coreboard.
  - 6. Fiberboard Tack Base (for vinyl wall covering specified elsewhere).
  - 7. Prewrapped Vinyl Covered Tackboard Wall Paneling.
- 09 28 13 Cementitious Backing Boards
  - A. Manufacturers:
    - 1. USG
    - 2. Custom Building Products.
  - B. Basis-of-Design:
    - 1. USG, Durock Cement Board:
      - a. Thickness: 1/2-inch.
      - b. Edge: Smooth wrapped edge.
    - 2. Custom Building Products, Wonderboard Lite Backer Board:
      - a. Thickness: 7/16-inch.
      - b. Edge: Smooth wrapped edge.

#### 09 30 13 Ceramic Tiling

- A. Interior Wall Tile:
  - 1. Manufacturers: Dal-Tile.
  - 2. Basis-of-Design: Wall Classic. Color Wheel Collection Glazed Ceramic.
    - a. Tile Size: 6-inch x 6-inch.
    - b. Tile Colors: Minimum of (43): (1) field and (3) accents.
      - i. Colors to be selected by the Architect.
  - 3. Grout Joints: Nominal 1/16 inch, all joints equal, except at expansion joint conditions. Provide minimum 1/8 inch wide joint at all expansion joint conditions.
  - 4. Provide surface bullnose trim at all open edges or ends. Unglazed or cut tile edges unacceptable.
- B. Grout
  - 1. Manufacturer: Mapei.
  - 2. Colors: As selected by the Architect to complement tile colors selection.
- C. Latex Thinset Bond Coat at Walls: Thisnset bond coat, consisting of cementitious mortar conforming to ANSI A118.4.
  - 1. Manufacturer: Mapei

#### 09 51 26 Acoustical Wood Ceilings

- A. Option 1: Wood Wall Panels
  - 1. Basis-of-Design: WoodWorks Grille Forté Solid Poplar Walls Panels.
  - 2. Manufacturer: Armstrong World Industries, Inc.
  - 3. Wall Panel Type:
    - a. Surface Texture: Smooth.
    - b. Composition: Solid Wood.
    - c. Finish(s): Solid Wood (Poplar):
      - i. Natural Walnut
      - ii. Red Oak

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- d. Panel Width: 12-inches.
- e. Panel Length Size(s): With 1" reveal panel to panel @ length:
  - i. 48-inch (Nominal): 47-inches (Actual)
  - ii. 72-inch (Nominal): 71-inches (Actual)
  - iii. 96-inch (Nominal): 95-inches (Actual)
- f. Slat Width: 1-1/4-inches.
- g. Accessories: Flat Backer Kit.
- B. Option 2: Wood Wall Panels
  - 1. Basis-of-Design: Basis-of-Design: Akupanel https://woodupp.com/us/product/akupanel/?attribute\_pa\_color=stone
  - 2. Manufacturer: WoodUpp
  - 3. Wall Panel Type:
    - a. Two-Piece Panel System: Panels A and B.
      - i. Overall Panel Dimensions: 94.488-inches x 23.622-inches.
      - ii. Panel A measures 11.025-inches x 94.5inches.
      - iii. Panel B measures 12.6-inches x 94.5-inches
    - b. Panel Area: 15-1/2 SF.
    - c. Slat Width: 1.06-inches.
    - d. Gap: 0.511-inches between the slats.
    - e. Slat Mounting: Mounted on a base of 0.888-inch acoustic felt made from recycled plastic.
    - f. Panel Weight: 27lbs.
    - g. Color Options: Natural Oak, Brown Oak, Walnut, Copper Oxide, and Grey Oxide.
- 09 51 00 Acoustical Ceilings
  - A. 24-inch x 48-inch Lay-In Ceiling Tiles:
    - 1. Manufacturers:
      - a. Armstrong World Industries.
    - 2. Basis-of-Design: Dune Second Look (24-inch x 24-inch panels)
      - a. Face Dimension: 15/16 inches.
      - b. Profile: Scored Angular Tegular
      - c. Texture: Fine Textured
      - d. Color: White
      - e. Edge Moldings: "L" shaped.
      - f. Free End: Berc 2 seismic clip.
  - B. Suspension Grid: Armstrong World Industries
    - 1. Prelude XL 15/16" Exposed Tee with Superlock.
    - 2. Color: Silver.
- 09 54 26 Suspended Wood Ceilings
  - A. Manufacturers:
    - 1. Armstrong World Industries.
  - B. Basis-of-Design: Woodworks Linear Veneered Open
    - 1. Model: #6660W1.
    - 2. Color: Rift White Oak (NRO).
    - 3. 6-inch" O.C. Plank: 5-1/4" C 96" X <sup>3</sup>/<sub>4</sub>" with <sup>3</sup>/<sub>4</sub>" reveal.
  - C. Accessories: Woodworks Linear Veneered Open
    - 1. 5370 12h HD Linear Carriers for 4-1/2" modules
    - 2. 5659W1 4" WoodWorks Trim (with aluminum substrate)
    - 3. 5671 Ledger
    - 4. 5687 Backer Clip
    - 5. 5948 Linear and Channeled Trim Connector Clip

- 6. 6459BL Rigid Attachment Clip
- 7. 6603W1 WoodWorks Concealed Trim
- 8. 6657 BioAcoustic Infill Panel (Black Matte)
- 9. 7146 Solid Wood Trim
- 10. 7891 12 Gauge Hanger Wire
- D. Suspension Grid: Armstrong World Industries
  - 1. Prelude XL 15/16" Exposed Tee with Superlock.
  - 2. Color: Black.
- 09 60 10 Concrete Moisture Control Coating
  - A. Items:
    - 1. Concrete floor moisture emission testing.
    - 2. Concrete floor preparation.
    - 3. Water vapor and alkalinity control system at all concrete floors; slab-on-grade and elevated decks receiving finish flooring products.
  - B. Manufacturer: Advanced Moisture Control, Inc.
  - C. Basis-of-Design: Vapor-Green FC Membrane System.
    - 1. Synthetic polymer blend concrete vapor control barrier and waterproofing membrane capable of forming a surface film meeting ASTM F1869 moisture result of less than 2.0 and hydrostatic resistance of 45 psi.
    - 2. Accessory Products:
      - a. Joint Detailing and Patching: Provide materials as recommended by manufacturer for application.
      - b. Cementitious Floor Leveling Material: Shall be self-leveling or trowelable with a minimum 28 day compressive strength of 3000 psi in accordance with ASTM C109, equal to the following products.
        - i. Ardex Engineered Cements, Inc, K-15 Premium Self-Leveling Underlayment.
        - ii. Quickrete No. 1249 Self-Leveling Floor Resurfacer.
        - iii. Mapei Ultraflex<sup>TM</sup> LFT<sup>TM</sup>, Premium large-format tile mortar with polymer, LFT".
        - iv. Use of gypsum or asphalt-based systems are not permitted.

#### 09 61 43 Water Vapor Emission Testing

- A. Concrete moisture vapor emission and alkalinity testing.
  - 1. Testing is required in all areas scheduled to receive adhesive applied flooring systems.
- 09 65 00 Resilient Flooring
  - A. Luxury Vinyl Tile (LVT)
    - 1. Manufacturer: Interface.
    - 2. Basis-of-Design: Level Set Collection.
      - a. Color: As Selected by the Architect from Nautural and Textured Woodgrains Collections.i. Minimum of (6) different colors.
      - b. Size: Plank.
  - B. Heterogeneous Sheet Flooring
    - 1. Manufacturer: AHF Contract
    - 2. Basis-of-Design: Concepts of Landscape.
      - a. Color Selected by the Architect.
        - i. Minimum of (1) colors.
      - b. Thickness: 2mm.
      - c. Width: 78.74-inches.
      - d. Heat Guard Ultra Shield Finish.

#### 09 65 13 Resilient Base and Transition Strips

#### A. Resilient Base

- 1. Manufacturer:
  - a. Burke Flooring.
- 2. Basis-of-Design: BurkeBase TP
  - a. Material Standard: Comply with ASTM F1861, Type TP, Group 1 (Solid).
  - b. Type: thermoplastic rubber.
  - c. Series: Pinnacle.
  - d. Coved Toe.
  - e. Accessories: Provide pre-molded inside and outside corners matching base profile.
  - f. Size: 4 inch high x stock coil lengths.
  - g. Adhesives shall be approved by the resilient base manufacturer.
- 3. Acceptable Alternatives:
  - a. Roppe, 700 Series Thermoplastic Wall Base.
  - b. Tarkett (formerly Johnsonite), Duracove Thermoplastic Rubber Wall Base Type TP.
- B. Transitions/Reducers/Edge Strips:
  - 1. Manufacturer:
    - a. Burke Flooring.
  - 2. Basis-of-Design: Burke Flooring, Mercer Vinyl Mouldings.
    - a. Material: Vinyl.
    - b. Adhesives shall be approved by the transition strip manufacturer.
  - 3. Acceptable Alternatives:
    - a. Roppe, vinyl transition strips.
    - b. Tarkett (formerly Johnsonite), vinyl transition strips.
- 09 67 16 Epoxy Flooring
  - A. Epoxy Flooring System for Stalls at Gender Neutral Restrooms and Single Occupancy Unisex Restrooms.
    - 1. Manufacturer: Dex-O-Tex
    - 2. Basis-of-Design: "Terracolor", Troweled Epoxy Floor.
    - 3. Color: As Selected by the Architect from the Manufacturer's full color range.

#### 09 68 13 Tile Carpeting

- A. Carpet Tile
  - 1. Manufacturer: Interface.
  - 2. Basis-of-Design: Biodiversity Collection; Modular Carpet Tiles.
    - a. Color: As Selected by the Architect.
      - i. Minimum of (6) different colors.
    - b. Size: Plank.
    - c. Pile Height: 1/4-inch maximum.
  - 3. Accessories:
    - a. Crack Filler: Latex Base Type.
    - b. Adhesives: Provide type and brands of solvent free water-resistant adhesive as recommended by manufacturer of carpet tiles for conditions of installation. Adhesives shall allow slab moisture content up to 10 lbs. Provide adhesive warranty for slab moisture failure.
    - c. Resilient Base food Tile Carpeting: See Section 09 65 13 Resilient Base and Transition Strips.
    - d. Transition / Reducers / Edge Strips: See Section 09 65 13 Resilient Base and Transition Strips.

- 09 84 13 Fixed Sound Absorptive Panels
  - A. Manufacturer and Basis-of-Design Product TBD in DD Phase after consultation with the College and Acoustician.
- 09 78 26 Fiberglass Reinforced Wall Panels (FRP)
  - A. Protective, Prefinished Wall Surfacing, FRP and associated trim.
    - 1. Manufacturer:
      - a. Marlite.
    - 2. Basis-of-Design: Standard FRP
      - a. Type: Prefinished protective wall covering.
      - b. Series/Style: Standard FRP.
      - c. Nominal thickness: 0.090 inches thick (embossed).
      - d. Size: 48-inches width by maximum sheet length available, height as shown on drawings.
      - e. Color: As selected by the Architect from the Manufacturer's full color line.
      - f. Finish: Pebbled.
    - 3. Accessories:
      - a. Accessory Moldings and Sealant:
        - i. Provide Marlite PVC trim to match panel color.
      - b. Trim Accessories: Manufacturer's standard one-piece vinyl extrusions designed to retain and cover edges of panels. Provide division bars, inside corners, outside corners, and caps as needed to conceal edges.
        - i. Color: Match panels.
      - c. Exposed Fasteners: Provide color matched nylon drive rivets recommended by panel manufacturer.
      - d. Concealed Mounting Splines: Continuous, H-shaped aluminum extrusions designed to fit into grooves routed in edges of factory-laminated panels and to be fastened to substrate.
      - e. Adhesive: Type recommended by wall covering manufacturer to suit substrate, UL Classified for installation, water-based type. Use of contact adhesive not permitted.
      - f. Sealant: Provide color matched silicone sealant. Mildew-resistant, single-component, neutral-curing silicone sealant recommended by plastic paneling manufacturer and complying with requirements in Section 07 92 00 "Joint Protection".
    - 4. Acceptable Alternatives:
      - a. Crane Composites.
        - i. Type: Reinforced polyester resin panel.
        - ii. Series/Style: Glasbord, with Surfaseal finish.
- 09 91 00 Painting
  - A. Basis-of-Design: For Paint and High Performance Coatings
    - 1. Manufacturer: Sherwin-Williams.
  - B. Basis-of-Design: For Stains and Varnishes
    - 1. Manufacturers: Sherwin-Williams.
  - C. Colors shall be selected by Architect as specified on Architectural drawings and finish schedule.
    - 1. Interior Colors: Minimum of (12) different colors.
    - 2. Exterior Colors: Minimum of (2) different colors.
- 09 96 23 Graffiti-Resistant Coatings
  - A. Manufacturers:
    - 1. Textured Coatings of America, Inc.
  - B. Basis-of-Design:
    - 1. Tex-Cote, "Rainstopper 2000W" base coat.

- 2. Tex-Cote, "Sacrificial Graffiti Gard System" finish coat.
- C. Color/Sheen: Clear, flat.
- 09 97 37 Dry Erase Coatings
  - A. Field applied dry erase coatings including surface preparation and primer.
  - B. Manufacturers:
    - 1. IdeaPaint.
  - C. Basis-of-Design:
    - 1. Paint: CREATE White.
      - a. Color: White
    - 2. Primer: IdeaPaint PRIMER
      - a. Alternate Primers:
        - i. Sherwin-Williams Multi-Purpose
        - ii. PPG Seal Grip
        - iii. Glidden Gripper
        - iv. Kilz Premium.
      - b. Priming is required over stained surfaces for optimal hiding power, such as stained whiteboards or stained chalkboards.
      - c. Priming is required for surface color changes for optimal hiding power of original surface color.
      - d. Priming is required over new drywall, plastic, aluminum, steel (galvanized and ungalvanized), and vinyl.
      - e. Roller Covers: Provided by manufacturer. No substitutions.

#### **DIVISION 10 – SPECIALTIES**

#### 10 11 16 Markerboards

- A. Basis-of-Design: Fixed Porcelain / Steel Markerboards.
  - 1. Manufacturer: Claridge Products and Equipment Co.
  - 2. Model: 'Venue' Dry Erase Markerboard.
- B. Basis-of-Design: Fixed Glass Markerboard.
  - 1. Manufacturer: Bendheim (or Claridge).
  - 2. Model: 'Mag+' Magnetic Dry-Erase Glass Markerboard.

#### 10 11 23 Tackboards

- A. TBD in consultation with the College and JK Architecture Engineering.
- B. Types:
  - 1. Fabric Covered Tackboards
  - 2. Vinyl Covered Tackboards
- 10 14 00 Signage
  - A. Basis-of-Design: Thermoformed Acrylic Permanent Room Signage.
    - 1. Sign Types:
      - a. Permanent Room Identification Signage.
      - b. Restroom Signage.
      - c. Exiting Signage.
      - d. Occupant Load Signage.
      - e. Assistive Listening System Device Signage.
      - f. Exterior Utility Room Identification Signage.
      - g. Accessible Entrance Signage.
      - h. Elevator Signage
    - 2. Manufacturers:
      - a. Best Sign Systems, Inc.

- b. Rowmark Signage Company
- c. ASI Sign Systems.
- d. Vomar Architectural Signage and Graphics.
- e. Or equal
- 10 14 19 Dimensional Letter Signage
  - A. Basis-of-Design: Cast Dimensional Characters, Backlit.
    - 1. Letters:
      - a. Character Material: Cast Aluminum.
      - b. Character Height: As Indicated on Drawings.
      - c. Thickness: As Indicated on Drawings
      - d. Finishes: Integral Aluminum Finish, Clear Anodized.
      - e. Mounting: Concealed studs. Countersunk flathead through fasteners.
    - 2. Manufacturers:
      - a. A.R.K. Ramos
      - b. Impact Signs
      - c. Gemini Incorporated
      - d. ACE Sign Systems, Inc.
      - e. ASI Signage Innovations
      - f. The Southwell Company
      - g. Or equal
- 10 21 13.19 Solid Plastic Toilet Compartments
  - A. Basis-of-Design: ARIA Toilet Partitions.
    - 1. Manufacturers:
      - a. Scranton Products
    - 2. Style: Full height floor mounted overhead braced toilet compartments.
    - 3. Doors, Panels and Pilasters:
      - a. High density polyethylene (HDPE), fabricated from polymer resins compounded under high pressure, forming single thickness panel.
      - b. Waterproof and nonabsorbent, with self-lubricating surface, resistant to marks by pens, pencils, markers, and other writing instruments.
      - c. Thickness: 1 inch (25 mm) with 1/4 inch (6 mm) radiused edges. One edge of pilaster and transom panels to be ship lapped.
      - d. Fire Rating: Tested per ASTM E 84: Class A flame spread/smoke developed rating.
- 10 22 33 Accordion Folding Partitions
  - A. Manufacturer: Modern Fold
  - B. Basis-of-Design: Acousti-Seal Single Panel Systems.
    - 1. Premier Series
      - a. STC: TBD from Manufacturer's three options.
      - b. Panel Thickness (Nominal): 3-inches.
      - c. Operation: Single Panel Manual.
      - d. Frame: Roll formed and welded 18 ga. steel.
      - e. Skin Face: Gypsum Board.
      - f. Markerboard finish on the classroom side of partitions.
- 10 26 00 Wall and Door Protection
  - A. Abuse-resistant Wall Coverings.
  - B. Manufacturer: J. Josephson, Inc.
  - C. Basis-of-Design: P3TEC Advanced Wall Protection.
    - 1. Color and Pattern: As Selected by the Architect from the Manufacturer's full color line.

- 2. Thickness: .032" .038" (varies by emboss and finish.
- 3. Width: 48-inches
- 10 26 13 Corner Guards
  - A. Basis-of-Design: Surface-Mounted, 48" high vinyl corner guards.
    - 1. Manufacturer:
      - a. Koroseal Wall Protection Systems.
    - 2. Products:
      - a. Korogard G875, wing size 3/4".
      - b. Color as selected by Architect from Manufacturer's full color line.
- 10 28 13 Toilet Accessories
  - A. Basis-of-Design: Restrooms
    - 1. Manufacturer:
    - a. Bobrick.
    - 2. Products:
      - a. Stainless Steel Grab Bars: 5806 Series, Type 01, Stainless-Steel Grab Bars.
        - i. Model No. 5806.99X42, Type 01, 1 1/4 inch O.D., 42 inch long with concealed mounting.
        - ii. Model No. 5806.99X48, Type 01, 1 1/4 inch O.D., 48 inch with concealed mounting.
      - b. Stainless Steel, Channel-Framed Mirror: B-1658-1836, Stainless-Steel, Lock Tab, Channel-Frame Mirror with Tempered Glass.
      - c. Recessed Paper Towel Dispenser and Waste Receptacle: B-43944, Contura Series.
      - d. Stainless Steel Surface-Mounted Toilet Seat Cover Dispenser: B-4221, Contura Series.
      - e. Stainless Steel Surface-Mounted Soap Dispenser: B-2111, Classic Series.
      - f. Sanitary Napkin Disposal Unit: B-4353, Contura Series.
      - g. Stainless Steel Recessed Dual Roll Toilet Tissue Dispenser: B-4388, Contura Series.
      - h. Stainless Steel Surface-Mounted Dual Roll Toilet Tissue Dispenser: B-4388, Contura Series.
      - i. Electric Hand Dryer: See Section 10 28 40.
  - B. Basis-of-Design: Custodian Room
    - 1. Manufacturer:
    - a. Bobrick.
    - 2. Product:
      - a. Stainless Steel Mop Rack With Utility Shelf: Model No. B-224X36.
  - C. Basis-of-Design: Trap and Piping Wrap
    - 1. Manufacturer: Plumberex Specialty Products.
    - 2. Products:
      - a. Plumberex, Handi-Shield MaXX Soft Under-Lav Insulated Cover or
      - b. Plumberex, Pro-Extreme Molded Under-Lav Insulated Cover.
- 10 28 40 Electric Hand Dryers
  - A. Manufacturers and Basis-of-Design:
    - 1. Bobrick, Model No. B-7128, "TrimLine Series", Surface-Mounted Automatic Hand Dryer.
    - Excel, Model No. TA-SB, "ThinAir" Surface-Mounted Hand Dryer.
    - 3. American Specialties, Inc. Model No. 0199-1-93, Turbo-ADA High Speed Hand Dryer.
- 10 41 00 Emergency Access and Information Cabinets (Knox Boxes)
  - A. Manufacturer: Knox Company.
  - B. Basis-of-Design: Series: "Knox Box", Model 3200 Key Cabinet .
    - 1. (No alternate allowed required by Local Fire Marshal)

#### 10 44 00 Fire Protection Specialties

- A. Manufacturers:
  - 1. JL Industries
  - 2. Larsens Manuf. Co.
  - 3. or approved equal.
- B. Fire Extinguisher Types:
  - 1. Multipurpose, 10 lb., dry chemical, UL Rating 2A 10B:C.
- C. Fire Extinguisher Cabinet Types: Semi-Recessed.
  - 1. At Fire Rated Walls: One-hour rated.
  - 2. At Non-Rated Walls: Non-rated.
  - 3. Sized to accommodate accessories.

#### 10 51 13 Metal Lockers

- A. Manufacturers and Product: DeBourgh Mfg. Co.
- B. Basis-of-Design: All American Corridor
  - 1. Type: Steel Lockers, fully enclosed, fully assembled and welded. Welding of knockdown locker construction is not acceptable.
- C. Construction Characteristics
  - 1. Tops, Bottoms, Shelves, Tier Dividers, End Panels: 16 gauge (0.060-inch) solid sheet steel.
  - 2. Backs: 18 gauge (0.048-inch) solid. Mesh not permitted.
  - 3. Frames, Sides and Intermediate Partitions: 1 x 1 x 1/8-inch steel angle with 13 gauge, 3/4-inch mesh welded to frame.
  - 4. Doors: 14 gauge, style as specified, welded door reinforcement.
  - 5. Hinges: 3-inch, 5 knuckle, welded to door panel and frame.
  - 6. Locking mechanism: Recessed stainless steel pan, operating latch free, with single point latch.
- D. Characteristics: Lockers
  - 1. Style: Double Tier
  - 2. Locker Size: TBD.
  - 3. Doors: Louvered traditional six louvers at top and bottom of door
  - 4. Top: Flat.
  - 5. Base: 6-inch, 14 Ga gusset style legs securely welded to locker bottom with 16 Ga spacer channel welded to locker bottom and Z-closure.
  - 6. Filler Panels: Manufacturer's standard fabricated from 18 Ga solid steel finished to match lockers. Provide slip joint fillers angle formed to receive filler panel
- E. Latch: Sentry III Single-Point Latch
  - 1. Special Needs Latch (ADA) Latching operation with a three-point/three-sided latch with an extended 6-inch handle creating a weighted counterbalance allowing activation by either upward or downward motion.
- F. Hardware and Accessories
  - 1. Lock: Padlocks provided by Owner
- 10 75 00 Flagpoles (Civil)

#### **DIVISION 11 – EQUIPMENT**

11 51 00 Library Equipment

#### A. TBD in consultation with the College and Library Consultant.

- 11 52 00 Audio Visual Equipment (Low Voltage Consultant)
- 11 52 13 Projection Screens (Low Voltage Consultant)

Gavilan College Library Student Resource Center (LSRC) 22-405

#### **DIVISION 12 - FURNISHINGS**

- 12 24 13 Roller Window Shades
  - A. Basis-of-Design: MechoShade Systems, Inc.; Mecho 5.
  - B. Operation:
    - 1. Manually Operated Hardware and Shade Brackets.
    - 2. Electrically Operated.
- 12 93 00 Site Furnishings
  - A. Bike rack: Columbia Cascade CycLoops 'Circulo'. Model # 2170-3-05-SM-S, surface mounted, stainless steel finish.
  - B. Bike locker: Columbia Cascade CycLockers. Model #2176-2-PR-S, perforated stainless steel.

#### **DIVISION 13 – SPECIAL CONSTRUCTION (NOT USED)**

#### **DIVISION 14 – CONVEYING EQUIPMENT**

14 24 23 Hydraulic Passenger ElevatorsA. Basis-of Design: Otis HydroFit 3,500 lb., 100 fpm, passenger elevator system

#### **DIVISION 21 – FIRE SUPPRESSION**

- 21 00 00 Fire Suppression System (Fire Protection Engr.)
- 21 00 50 Basic Fire Sprinkler Materials and Methods (*Fire Protection Engr.*)
- 21 10 00 Fire Sprinkler Systems (*Fire Protection Engr.*)

#### **DIVISION 22 – PLUMBING**

- 22 10 00 Plumbing Piping Systems
  - A. Sanitary and Storm Drainage
    - 1. Cast Iron No-hub
    - 2. Fittings: Cast Iron
    - 3. Coupling: Standard Duty
  - B. Hot and Cold Domestic Water
    - 1. Copper Tubing Type L
    - 2. Fittings: Copper
    - 3. Joints: Solder
  - C. Condensate Piping
    - 1. Type M
    - 2. Fittings: Propress

#### 22 40 00 Plumbing Fixtures

- A. China Fixtures White Only Toilets and Lavatories
  - 1. American Standard
  - 2. Kohler
  - 3. Approved Equivalent
- B. Stainless Steel Fixtures Break Sink, Mothers Rooms Sink
  - 1. Elkay
  - 2. Approved Equivalent
- C. Faucets
  - 1. Kohler
  - 2. Chicago

- 3. Moen
- 4. Delta
- 5. Speakman
- 6. Approved Equivalent
- D. Mop Sink
  - 1. Florestone
  - 2. Symmons
  - 3. Approved Equivalent
- E. Carriers
  - 1. JR Smith
  - 2. Mifab
  - 3. Zurn
  - 4. Approved Equivalent
- F. Electric Water Coolers w/ Bottle Filler
  - 1. Elkay
  - 2. Approved Equivalent
- G. Downspout Boot/Cover
  - 1. JR Smith
  - 2. Mifab
  - 3. Sioux Chief
  - 4. Zurn
  - 5. Approved Equivalent
- H. Fixture Trim
  - 1. McGuire
  - 2. Dearborn Brass
  - 3. Oatey
  - 4. Approved Equivalent
- I. Floor Sinks
  - 1. Mifab
  - 2. Sioux Chief
  - 3. JR Smith
  - 4. Watts
  - 5. Zurn
  - 6. Approved Equivalent
- J. Flushometers Water Closet/Urinal
  - 1. Sloan
  - 2. Approved Equivalent
- K. Hose Bibbs
  - 1. Chicago
  - 2. JR Smith
  - 3. Mifab
  - 4. Woodford
  - 5. Zurn
  - 6. Approved Equivalent
- L. Hub Drains
  - 1. JR Smith
  - 2. Zurn
  - 3. Approved Equivalent
- M. Roof/Overflow Drains
  - 1. JR Smith

- 2. Nifab
- 3. Sioux Chief
- 4. Watts
- 5. Zurn
- 6. Approved Equivalent
- 22 50 00 Plumbing Equipment
  - A. Electric Water Heaters
    - 1. AO Smith
    - 2. Hubbell
    - 3. Approved Equivalent
  - B. Domestic Circulation Pumps
    - 1. Bell & Gossett
    - 2. Approved Equivalent

#### DIVISION 23 – HEATING, VENTILATING AND AIR CONDITIONING

- 23 00 50 Basic HVAC Materials and Methods (Mech. Engr.)
- 23 05 93 Testing, Adjusting and Balancing for HVAC (Mech. Engr.)
- 23 08 00.13 T-24 Commissioning of HVAC (Mech. Engr.)
- 23 09 23 Direct Digital Control System for HVAC (Mech. Engr.)
- 23 80 00 Heating, Ventilating and Air Conditioning (Mech. Engr.)

#### **DIVISION 26 – ELECTRICAL**

- 26 00 10 Basic Electrical Requirements (Elect. Engr.)
- 26 05 19 Building Wire and Cable (*Elect. Engr.*)
- 26 05 26 Grounding and Bonding (Elect. Engr.)
- 26 05 29 Electrical Hangers and Support (Elect. Engr.)
- 26 05 31 Conduit (Elect. Engr.)
- 26 05 33 Boxes (Elect. Engr.)
- 26 05 36 Cable Trays (Elect. Engr.)
- 26 05 43 Underground Ducts and Structures (*Elect. Engr.*)
- 26 05 46 Signal Systems Raceway (Elect. Engr.)
- 26 05 53 Electrical Identification (*Elect. Engr.*)
- 26 08 00 Electrical Commissioning (Elect. Engr.)
- 26 09 43 Network Addressable Lighting Control (*Elect. Engr.*)
- 26 22 13 Dry Type Transformers (Elect. Engr.)
- 26 24 16 Panelboards (Elect. Engr.)
- 26 27 16 Cabinets and Enclosures (Elect. Engr.)
- 26 27 26 Wiring Devices (Elect. Engr.)
- 26 28 16 Overcurrent Protective Devices (Elect. Engr.)
- 26 28 19 Disconnect Switches (Elect. Engr.)

#### Table of Contents Technical Specifications Page 27

- 26 29 00 Motor Controls (Elect. Engr.)
- 26 43 13 Surge Protective Devices (Elect. Engr.)
- 26 50 00 Lighting (Elect. Engr.)
- 26 73 19 Assistive Listening System (Elect. Engr.)

#### **DIVISION 27 – COMMUNICATIONS**

- 27 00 00 Communications Basic Requirements (Elect. Engr.)
- 27 05 00 Telephone Data Raceway System (*Elect. Engr.*)
- 27 05 28 Telecommunications Pathways (*Elect. Engr.*)
- 27 10 00 Communications Equipment Rooms (Elect. Engr.)
- 27 13 00 Communications Backbone Cabling (Elect. Engr.)
- 27 15 00 Horizontal Communications Rooms (Elect. Engr.)
- 27 51 00 Horizontal Communications Cabling (Elect. Engr.)

#### **DIVISION 28 – ELECTRONIC SAFETY AND SECURITY**

- 28 10 00 Access Control Systems (Elect. Engr.)
- 28 20 00 Video Surveillance (Elect. Engr.)
- 28 31 00 Intrusion Detection Alarm Monitoring (Elect. Engr.)
- 28 46 00 Fire Detection Alarm (Elect. Engr.)
- 28 47 00 Mass Notification (Elect. Engr.)

#### **DIVISION 31 – EARTHWORK**

- 31 00 00 Earthwork (Civil Engr.)
- 31 10 00 Site Clearing (Civil Engr.)
- 31 11 00 Clearing and Grubbing (Civil Engr.)
- 31 12 00 Selective Clearing (Civil Engr.)
- 31 22 00 Site Grading (Civil Engr.)
- 31 22 13 Rough Grading (Civil Engr.)
- 31 22 00 Site Grading (Civil Engr.)
- 31 22 16 Fine Grading (Civil Engr.)
- 31 23 16.13 Trench Excavation and Backfill to Utilities(Civil Engr.)
- 31 23 23 Fill (*Civil Engr.*)
- 31 25 00 Erosion and Sedimentation Controls (Civil Engr.)

#### **DIVISION 32 – EXTERIOR IMPROVEMENTS**

- 32 11 23 Aggregate Base Courses (Civil Engr.)
- 32 12 16 Asphalt Paving and Striping (Civil Engr.)
- 32 12 16.10 Asphalt Paving, Striping and Signage (Civil Engr.)

#### Table of Contents Technical Specifications Page 28

- 32 13 13 Concrete Paving (Civil Engr.)
- 32 13 13.1 Concrete Work (Landscape)
  - A. Flatwork color: natural.
  - B. Flatwork finish: medium topcast or beadblast.
  - C. Walls & curbs color: natural.
  - D. Walls & curbs finish: medium topcast or beadblast.
- 32 16 13 Concrete Curbs (Civil Engr.)
- 32 17 23 Pavement Markings (Civil Engr.)
- 32 17 26 Tactile Warning Surfacing (Civil Engr.)
- 32 30 00 Site Improvements (Civil Engr.)
- 32 31 13 Chain Link Fences and Gates (Architect)
- 32 32 16 Precast Conc Retaining Walls (Civil Engr.)
- 32 32 19 Unit Masonry Retaining Walls (Civil Engr.)
- 32 32 23.16 Manufactured Modular Walls (Civil Engr.)
- 32 84 00 Planting Irrigation
  - A. Irrigation controller: Hunter ACC with Data connection to internet via ethernet. Wall mounted to exterior of building in vandal resistant locking metal enclosure.
  - B. Irrigation backflow preventer: Febco 860, 3" size. Enclose in locking weather blanket.
  - C. Flow sensor: 2" size, compatible with Hunter ACC controller.
  - D. Master valve: 2" size, compatible with Hunter ACC controller. Normally closed.
  - E. Irrigation mainline: Purple pipe. Schedule 40 PVC up to 2", Class 315 PVC for 2" and larger.
  - F. Irrigation laterals: Purple Pipe. Schedule 40 PVC.
  - G. Irrigation fittings: Schedule 40.
  - H. Gate valves: Nibco brass. To be located on mainline as isolation valves.
  - I. Ball valves: Nibco brass. To be located at valve manifolds to isolate the manifold.
  - J. Quick couplers: 1" size. Locking purple camps.
  - K. Remote control valves: Rainbird PSB.
  - L. Shrub plants: irrigated with (1) bubbler per shrub on flexible riser.
  - M. Trees: irrigated with (2) bubblers per tree. bubblers in 36" perforated drain tubes with grated cap.
  - N. Control wires: (1) 14 ga. control wire to each valve; (1) 12 ga. common wire looped through system, (1) 12 ga. spare common wire looped through system, (5) 14 ga. spare wires looped through system. Unassigned stations will have (1) 14 ga. wire run from controller to limit of project and stubbed-out in a splice box.

#### 32 92 00 Planting

- A. All shrub planting areas are to have 12" of amended topsoil. Topsoil may be from on-site, off-site, or a blend of both.
- B. All topsoil to be horticulturally analyzed in compliance with the Model Water Efficient Landscape Ordinance and amended per analysis' recommendations.
- C. All shrub planting areas to have Mirafi 140N weed block fabric installed.
- D. Slopes of 3:1 and greater to have jute netting installed on them.
- E. All shrub planting areas are to have 3" of bark mulch installed. Non-stormwater planter mulch to be Republic Service's 'Pro-Chip', natural color. Stormwater planter mulch to be Pacific Landscape Supply's 'Shredded Cedar'.
- F. Shrubs to be a mix of 75% (5) gallon specimens, 25% (1) gallon specimens. Coverage of shrub planting areas at maturity to be 75% of planting areas.

- G. Trees to be 36" box size.
- H. Trees to be installed with (2) 3" tree stakes, (2) Z-Strap rubber ties from Sullivan & Mann Lumber, and (1) redwood cross brace between the stakes.
- I. Maintenance period to be (90) days from Substantial Completion.
- 32 92 19.16 Hydraulic Seeding
  - A. All hyroseeded planting areas to have 12" of amended topsoil. Topsoil may be from on-site, offsite, or a blend of both.
  - B. All topsoil to be horticulturally analyzed in compliance with the Model Water Efficient Landscape Ordinance and amended per analysis' recommendations.
  - C. Hydroseed to be Pacific Coast Seed's "California Native Wildflower Mix". Install at a rate of 18 lbs/acre.

#### **DIVISION 33 – UTILITIES**

- 33 05 00 Common Work Results for Utilities (Civil Engr.)
- 33 11 00 Water Utilities (Civil Engr.)
- 33 31 00 Sanitary Sewerage Piping (Civil Engr.)
- 33 40 00 Stormwater Utilities (*Civil Engr.*)
- 33 41 00 Subsurface Drainage (Civil Engr.)
- 33 41 13 Foundation Drainage (Civil Engr.)
- 33 52 00 Site Gas Distribution (Civil Engr.)

#### END OF OUTLINE SPECIFICATION

## Gavilan College Library & Student Resource Center (LSRC)

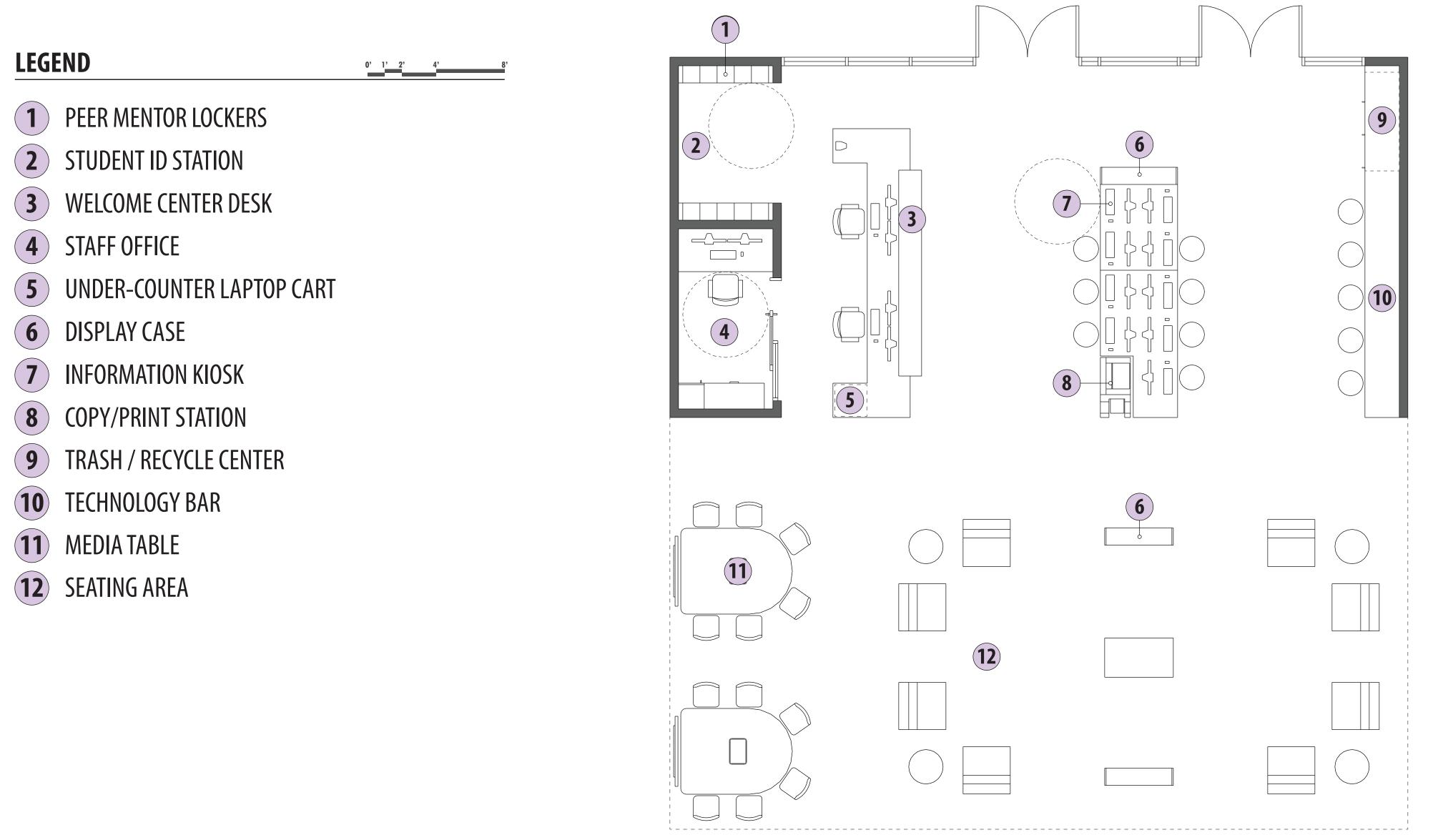
### **Schematic Design Submittal**

Section 3 Summary of Changes To Criteria Document

# WELCOME SHARED SERVICES FLINT JK ARCHITECTURE

# **1.01 LIBRARY STUDENT RESOURCE CENTER | WELCOME CENTER**

850 - 1,000 ASF

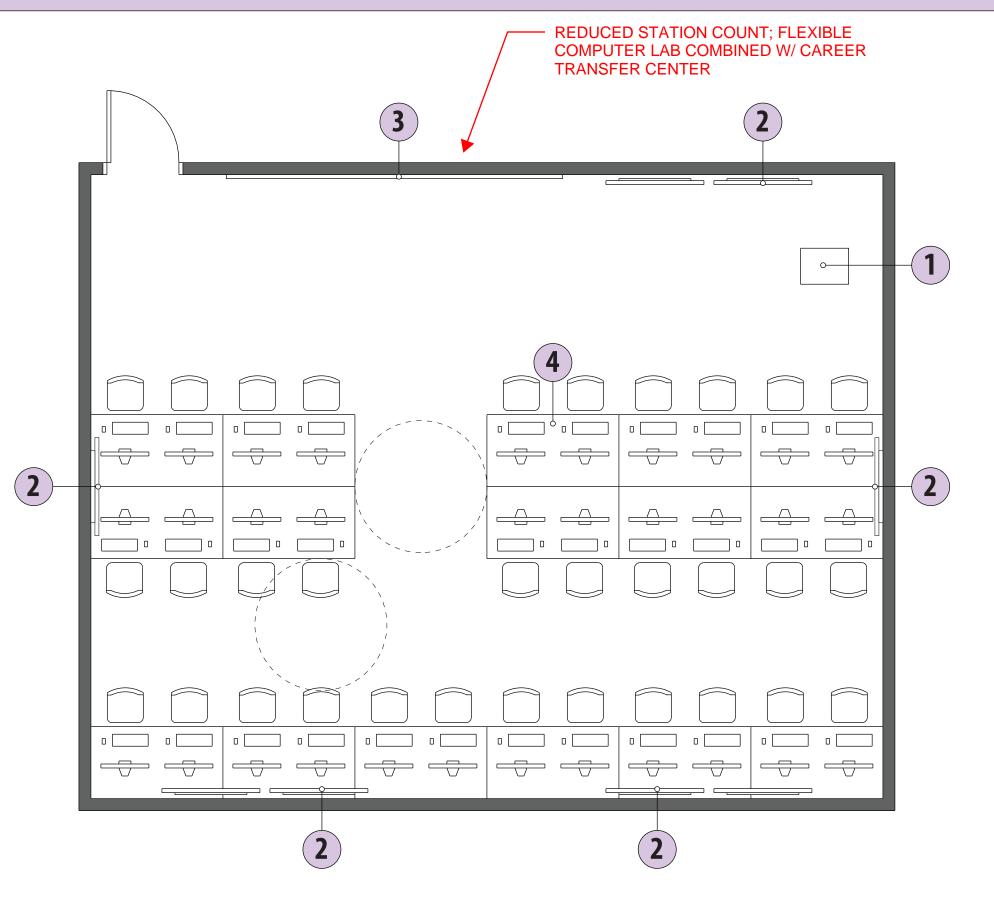


\* IN FINAL DESIGN, MAKE SURE WELCOME DESK IS PROMINENT AT BUILDING ENTRY AND CENTRAL TO OTHER PROGRAMS

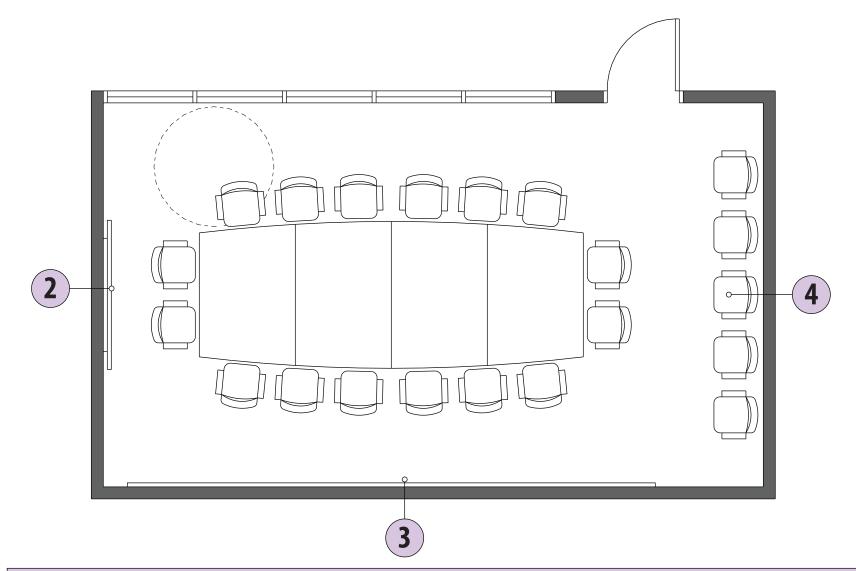
# 1.02 - 1.04 SHARED RESOURCES

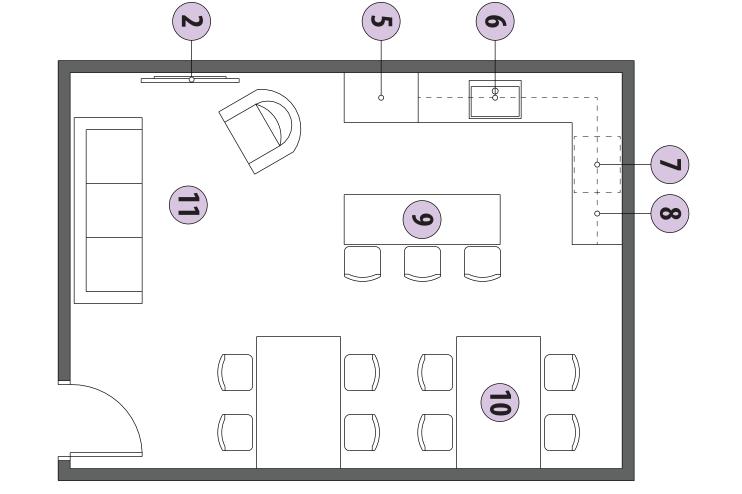
## 1,370 - 1,615 ASF





**1.03** FLEXIBLE COMPUTER LAB 730 - 860





**1.05** FACULTY + STAFF LOUNGE

300 - 355

340 - 400

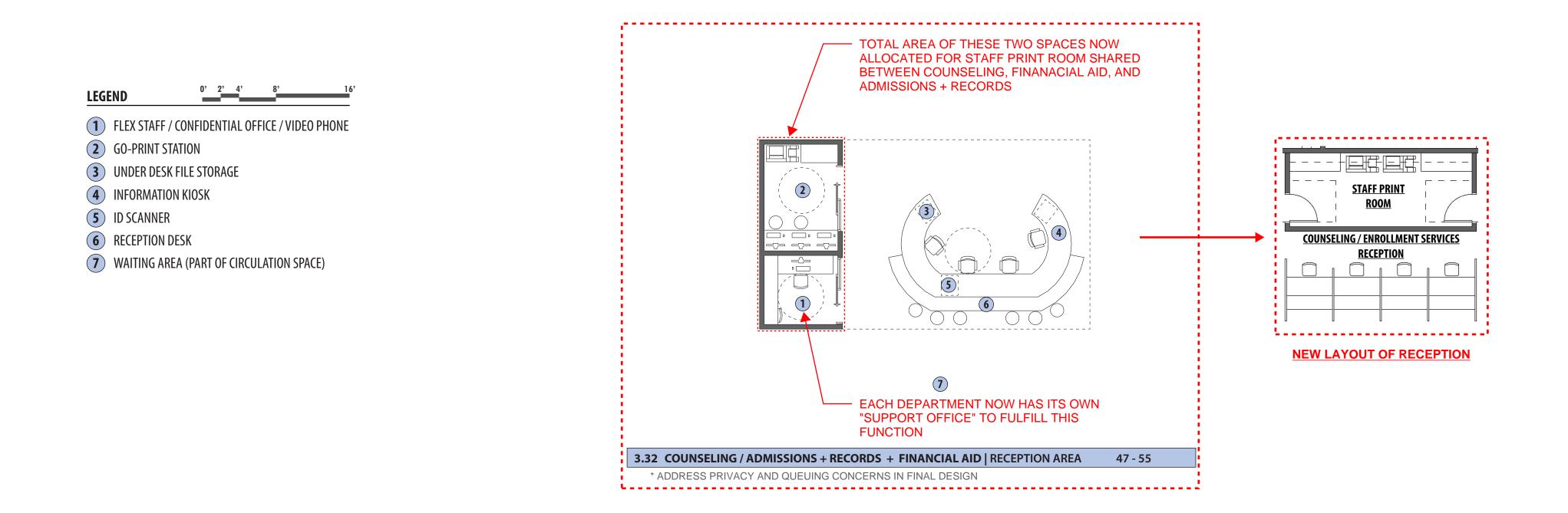
### SUMMARY OF PROGRAM EVOLUTION | PROGRAMMING TO SCHEMATIC DESIGN

# COUNSELING



**GENRAL NOTE:** ALL DEPARTMENTS TO HAVE ACCESS TO MICROWAVE AND REFRIGERATOR

## **COUNSELING RECEPTION AREA**





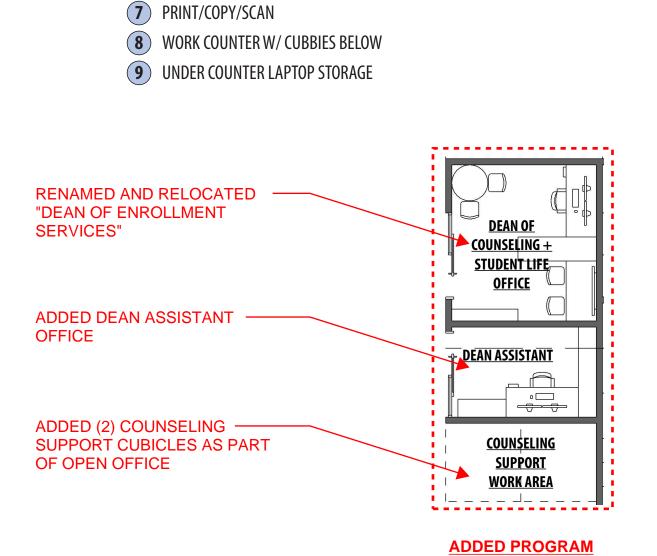


## **MENTAL HEALTH SERVICES OFFICE**

7

3.26 OPEN WORK AREA

47 - 55



0'2'4'

**1** 42" WIDE LATERAL FILE CABINET

**4** 30" x 60" SIT-TO-STAND DESK

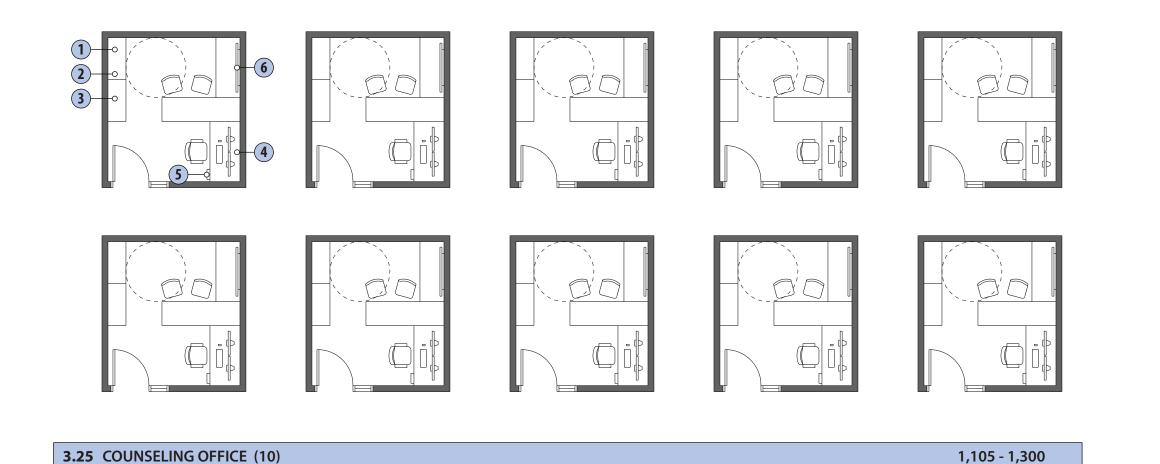
**2** WALL MOUNTED OVERHEAD STORAGE UNIT

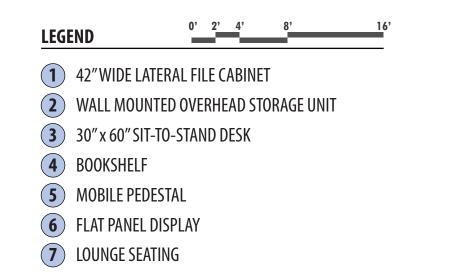
LEGEND

**3** BOOKSHELF

**5** MOBILE PEDESTAL

**6** FLAT PANEL DISPLAY





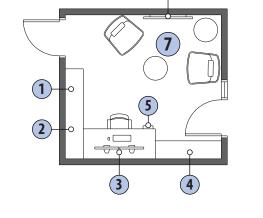
LEGEND

1 WINDOW WALL

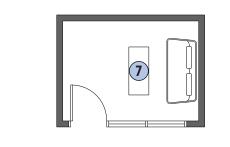
**3** LAPTOP CART

**4** BOOKSHELF

**5** MOBILE PEDESTAL



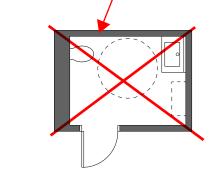
3.27 MENTAL HEALTH COUNSELOR (FT STAFF) 100 - 120



**3.28** FLEX OFFICE (PT THERAPISTS)

3.41 STORAGE

80 - 90



STORAGE IS NOW HANDLED

IN LOCKABLE FURNITURE AS

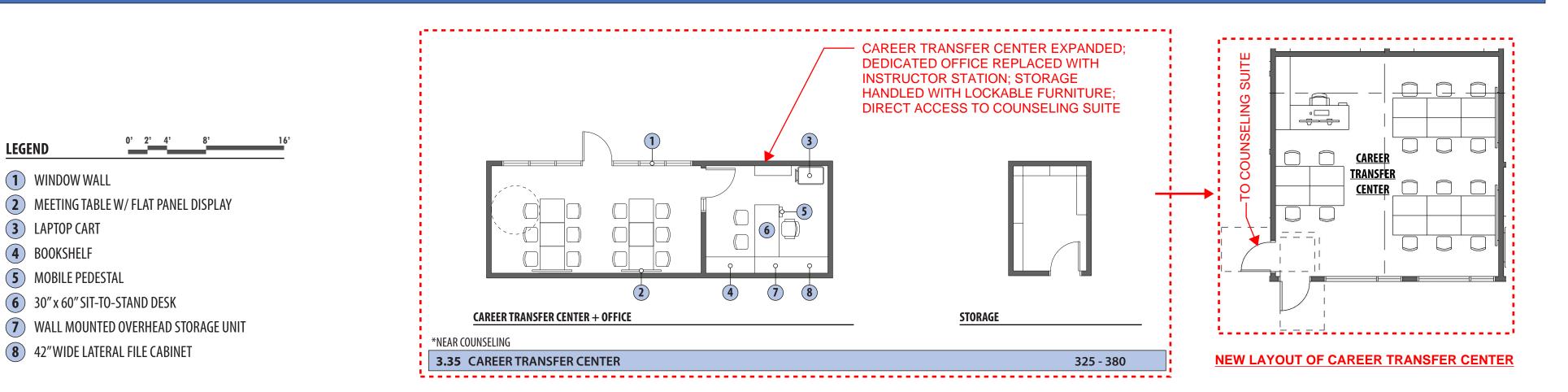
PART OF THE SUITE OPEN

WORK AREA

85 - 100

3.29 GENDER-INCLUSIVE RESTROOM 64 - 80

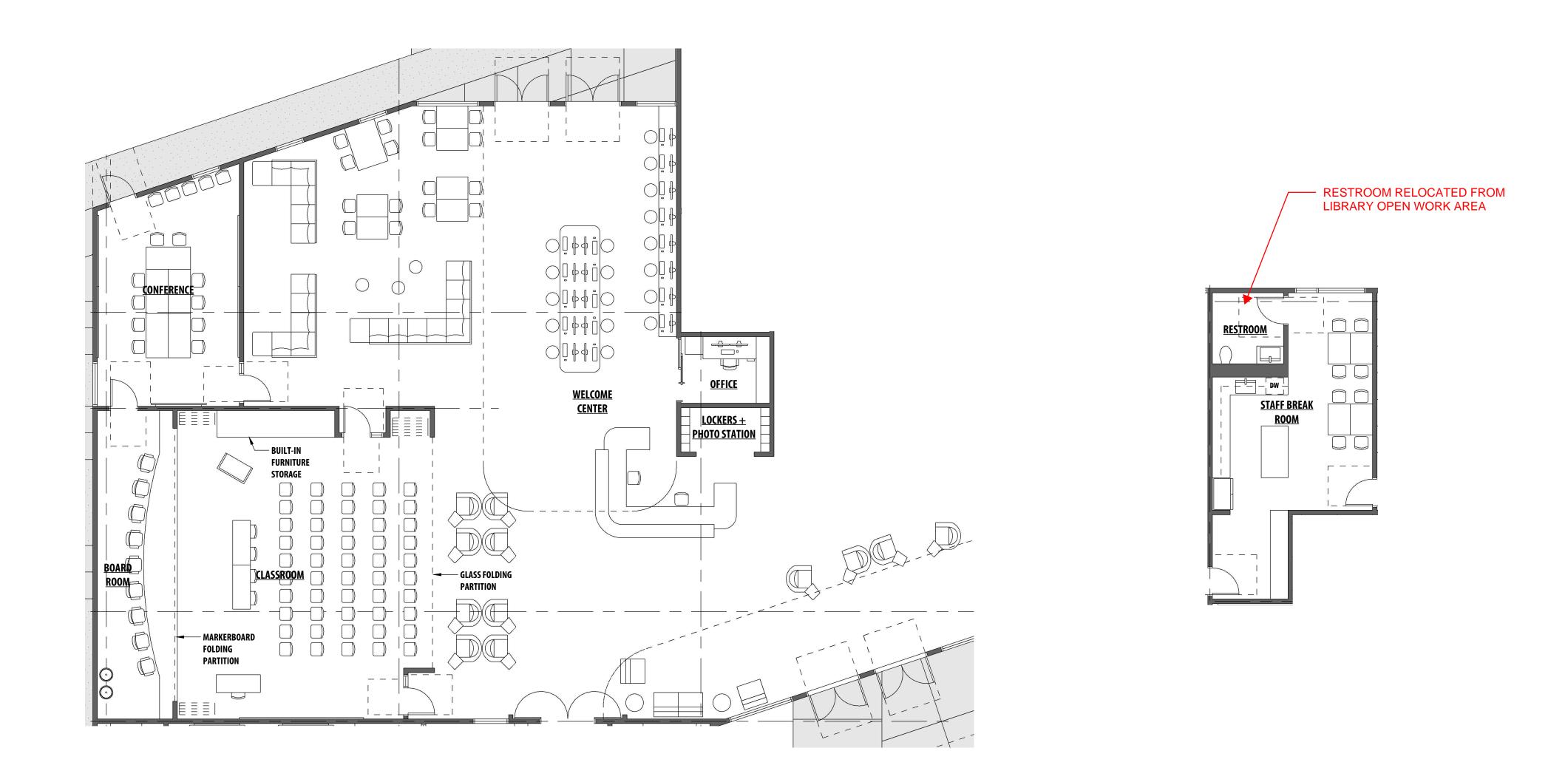
## **CAREER TRANSFER CENTER**



JK ARCHITECTURE ENGINEERING 2023.10.06

# WELCOME SHARED SERVICES FLINT JK ARCHITECTURE

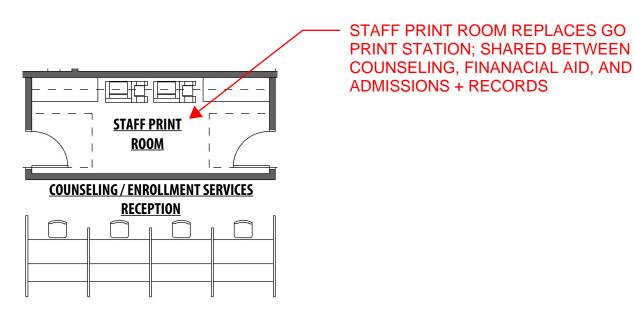
UPDATED WELCOME CENTER + SHARED RESOURCES



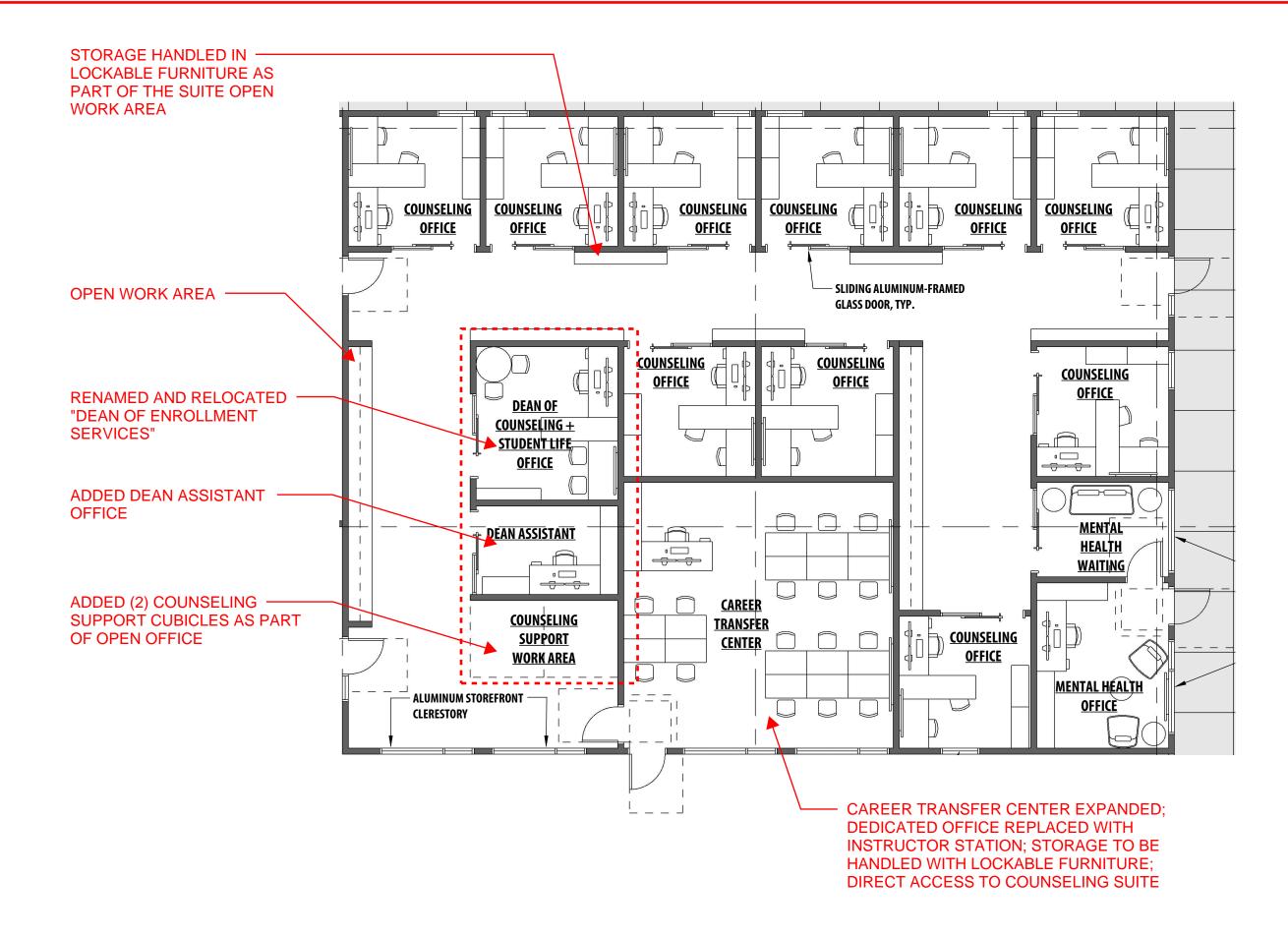




UPDATED COUNSELING, FINANCIAL AID, AND ADMISSIONS + RECORDS RECEPTION AREA



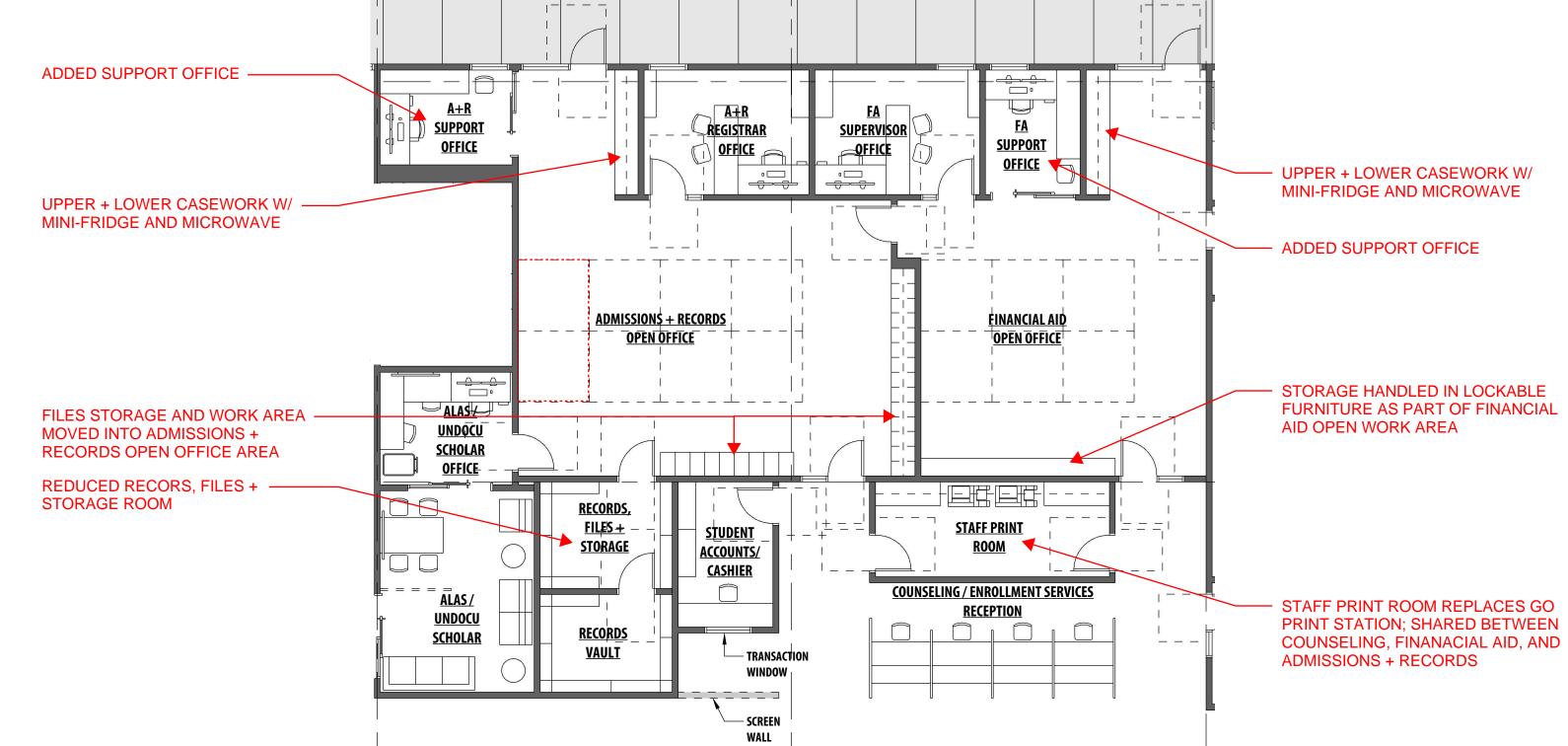
UPDATED COUNSELING + MENTAL HEALTH + CAREER TRANSFER CENTER



# **ENROLLMENT SERVICES**



**UPDATED** FINANCIAL AID, ADMISSIONS + RECORDS, AND ALAS/UNDOCU SCHOLAR



JK ARCHITECTURE ENGINEERING 2023.10.06

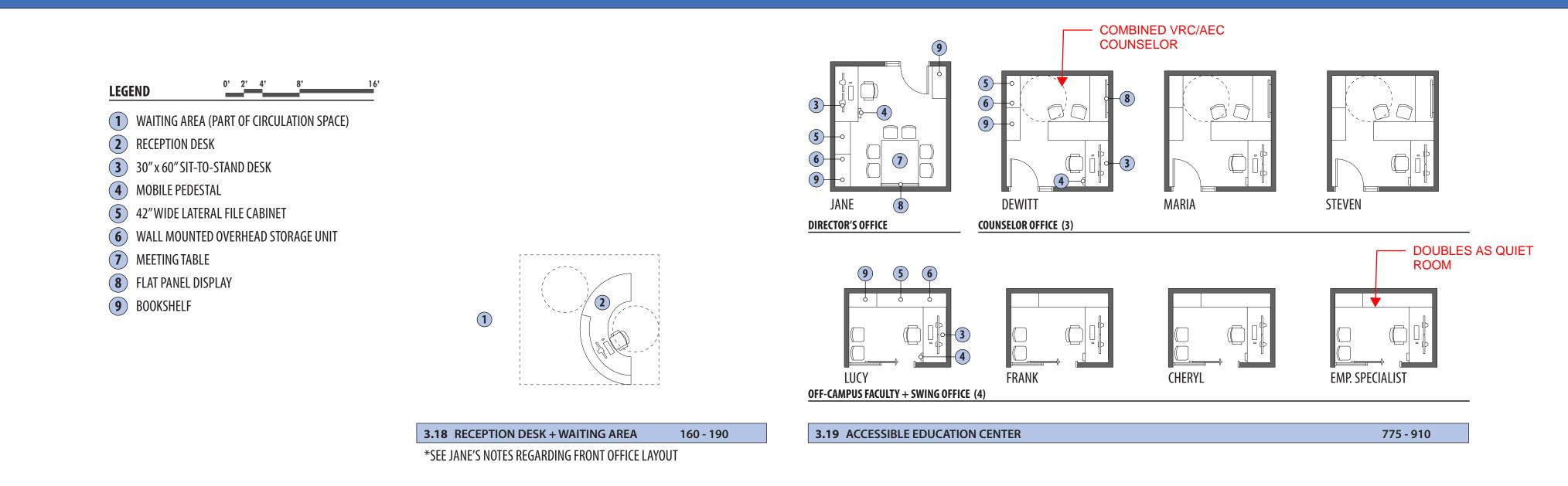
### SUMMARY OF PROGRAM EVOLUTION | PROGRAMMING TO SCHEMATIC DESIGN

# **SUPPORT SERVICES**

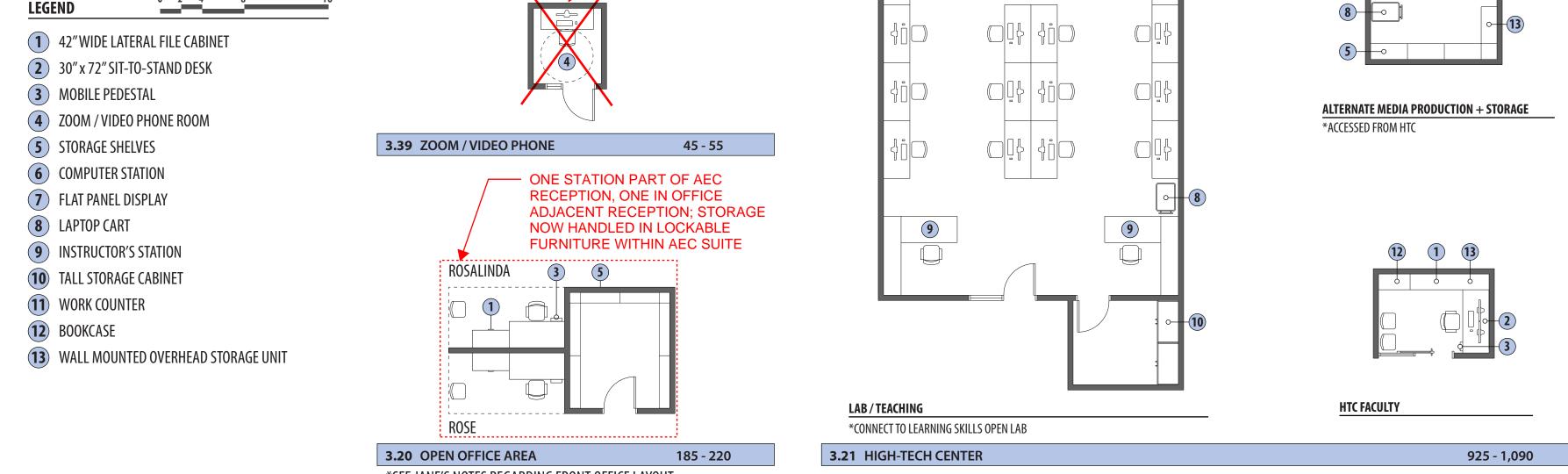


**GENRAL NOTE:** ALL DEPARTMENTS TO HAVE ACCESS TO MICROWAVE AND REFRIGERATOR

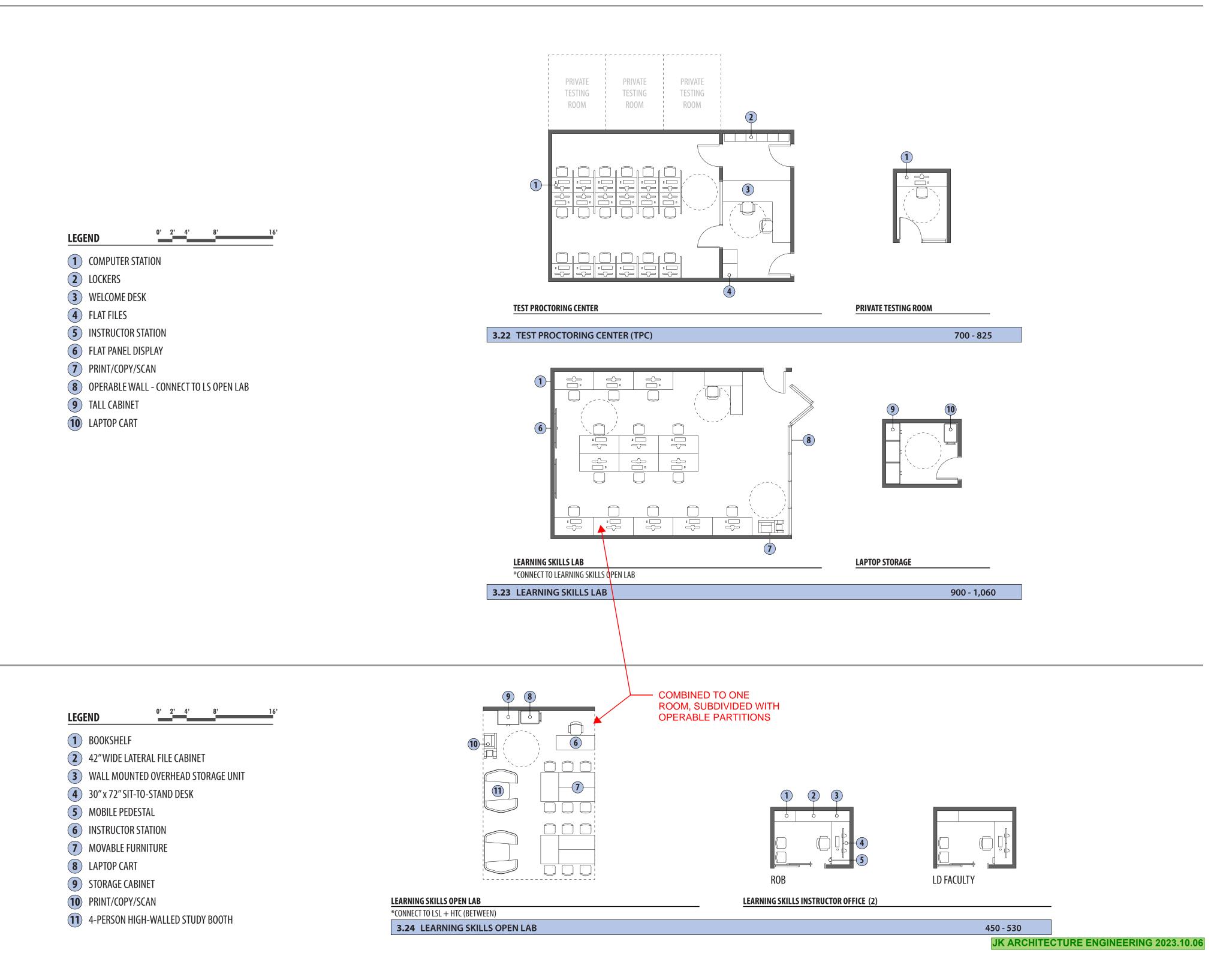
# **ACCESSIBLE EDUCATION CENTER (AEC)**







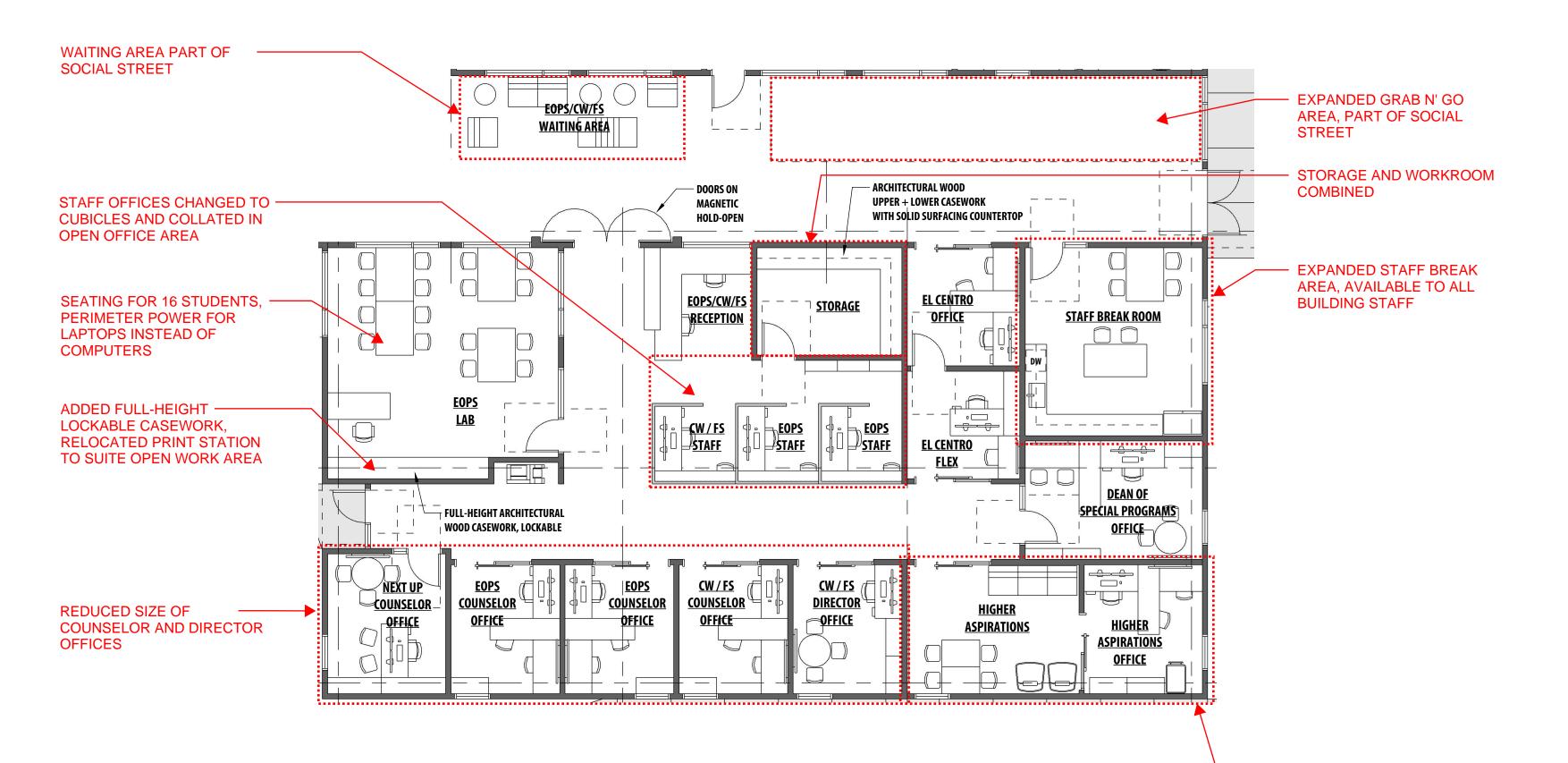
\*SEE JANE'S NOTES REGARDING FRONT OFFICE LAYOUT



# **SUPPORT SERVICES**



UPDATED SUPPORT SERVICES (EOPS + CALWORKS + FRESH SUCCESS, EL CENTRO, AND HIGHER ASPIRATIONS





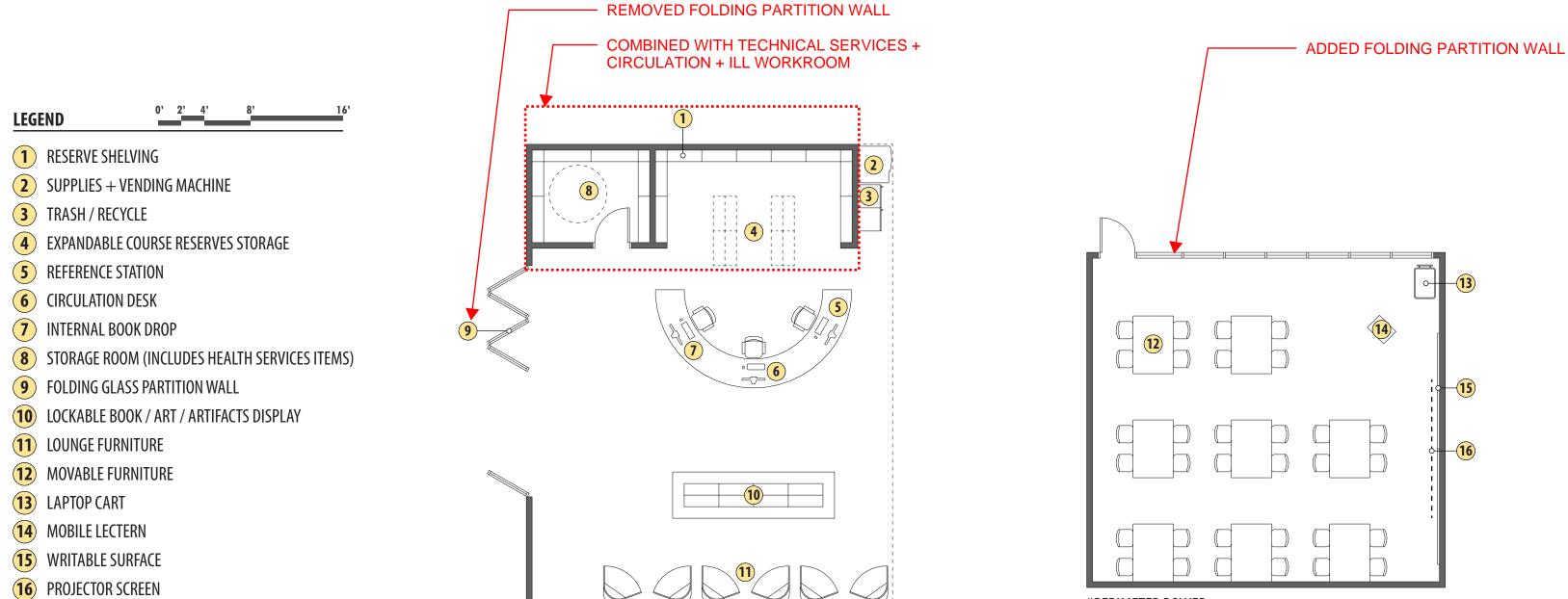
### UPDATED ACCESSIBLE EDUCATION CENTER + VETERANS RESOURCE CENTER





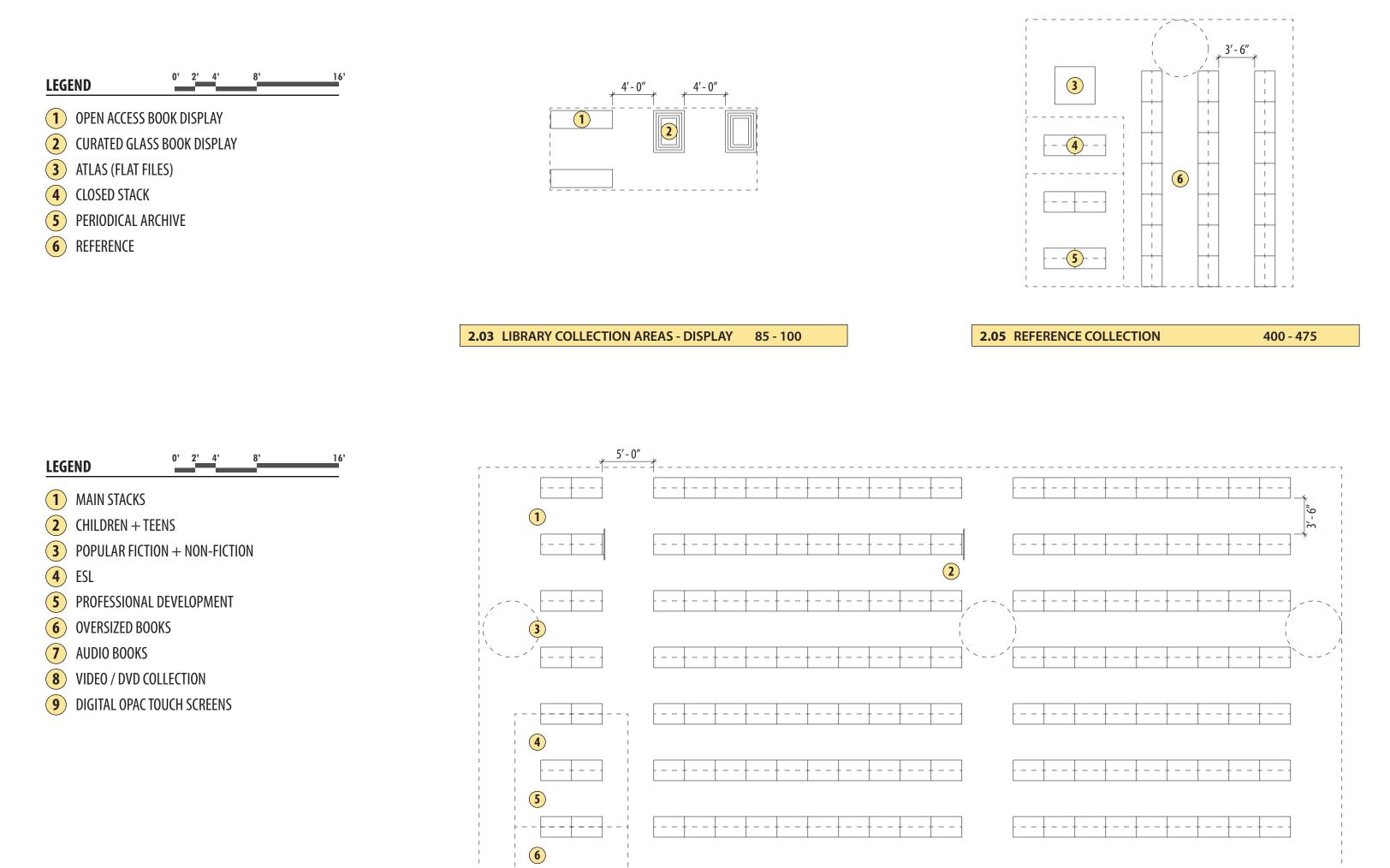
**GENRAL NOTE:** ALL DEPARTMENTS TO HAVE ACCESS TO MICROWAVE AND REFRIGERATOR

## **LIBRARY PUBLIC AREAS**



\*PERIMETER POWER

### **LIBRARY COLLECTION AREAS**

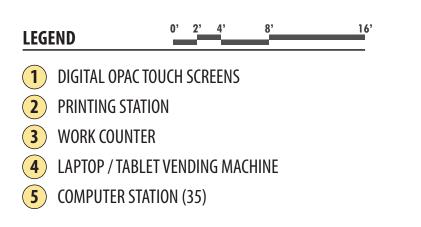


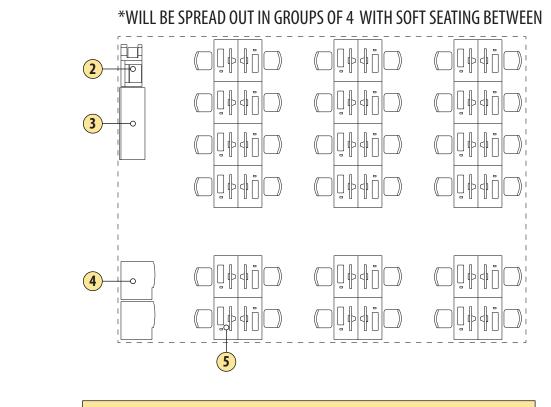
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2.04 GENERAL CIRCULATION COLLECTION

3,275 - 3,855

### LIBRARY TECHNOLOGY





2.06 DIGITAL DISPLAYS	50 - 60
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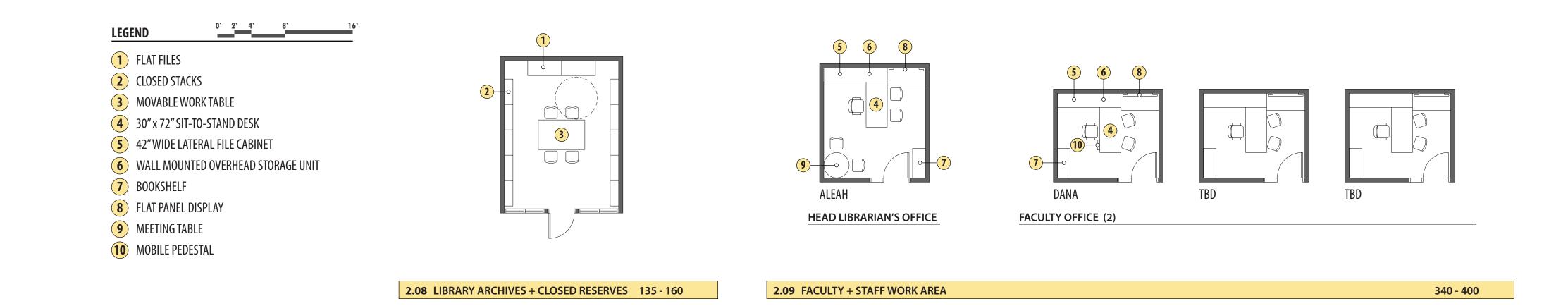
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**2.07** DESKTOP COMPUTER STATIONS 860 - 1,015

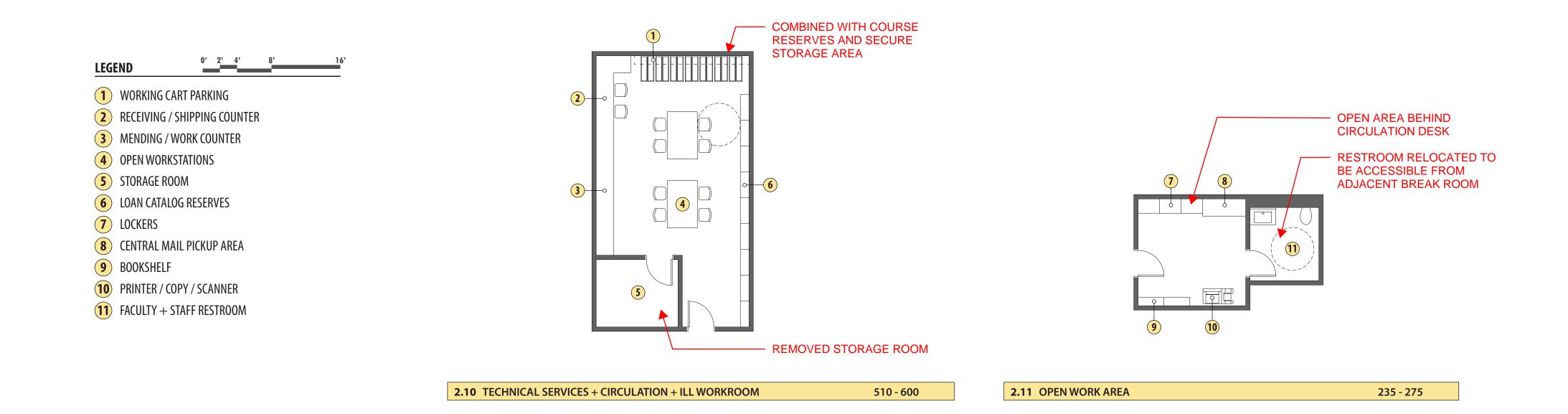


**GENRAL NOTE:** ALL DEPARTMENTS TO HAVE ACCESS TO MICROWAVE AND REFRIGERATOR

## LIBRARY ARCHIVES + CLOSED RESERVES | FACULTY + STAFF WORK AREA



## **TECHNICAL SERVICES + CIRCULATION + ILL**



### **TLC + DISTANCE EDUCATION**

9

(10)

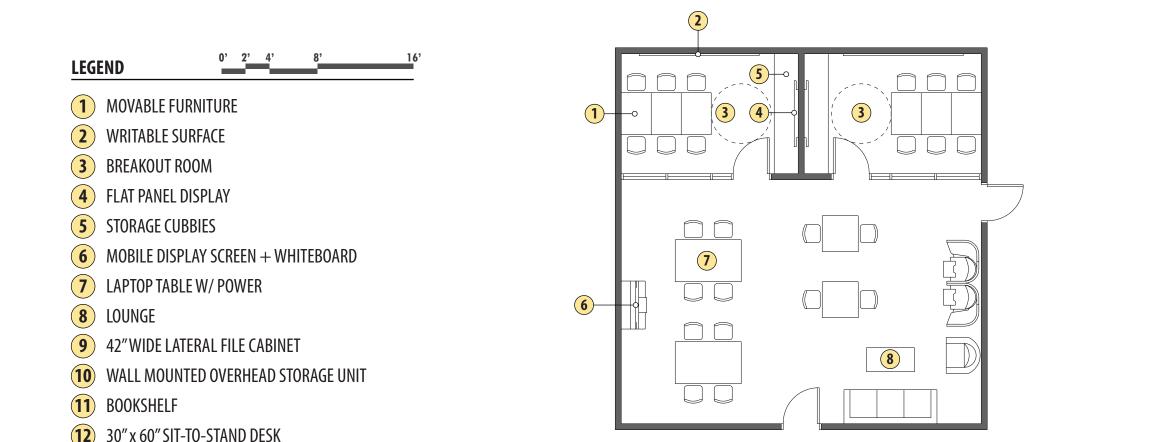
**13**—6

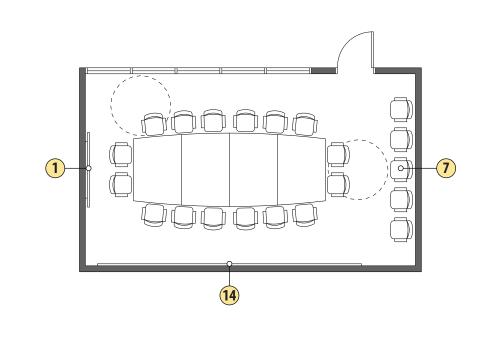
**DE COORDINATOR** 

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200 - 240



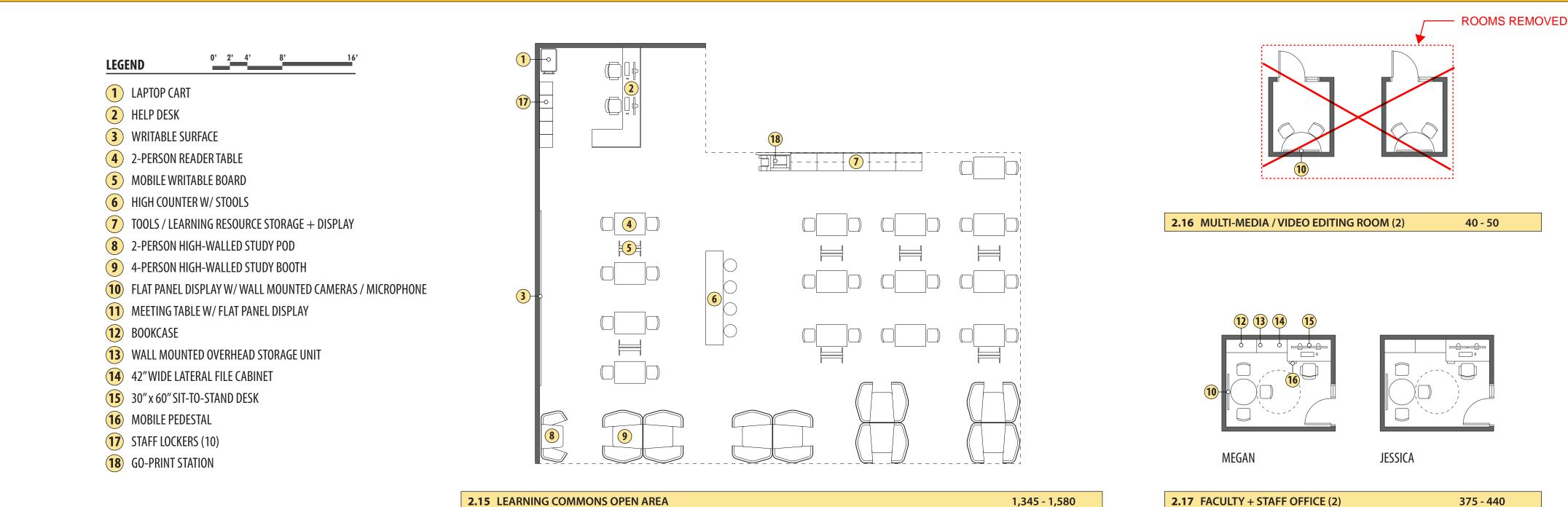


<ul> <li>12 30" X 60" STI-IO-STAND DESK</li> <li>13 MOBILE PEDESTAL</li> <li>14 WRITABLE SURFACE</li> </ul>			INSTRUCTIONAL TLC COORDINATO	-
<b>14</b> 1-PERSON STUDY POD W/ LAPTOP TABLE	2.12 WORK AREA / WORK SPACE	350 - 415	2.13 FACULTY OFFICE	2

2.14 MEETING ROOM

375 - 440

### **LEARNING COMMONS**

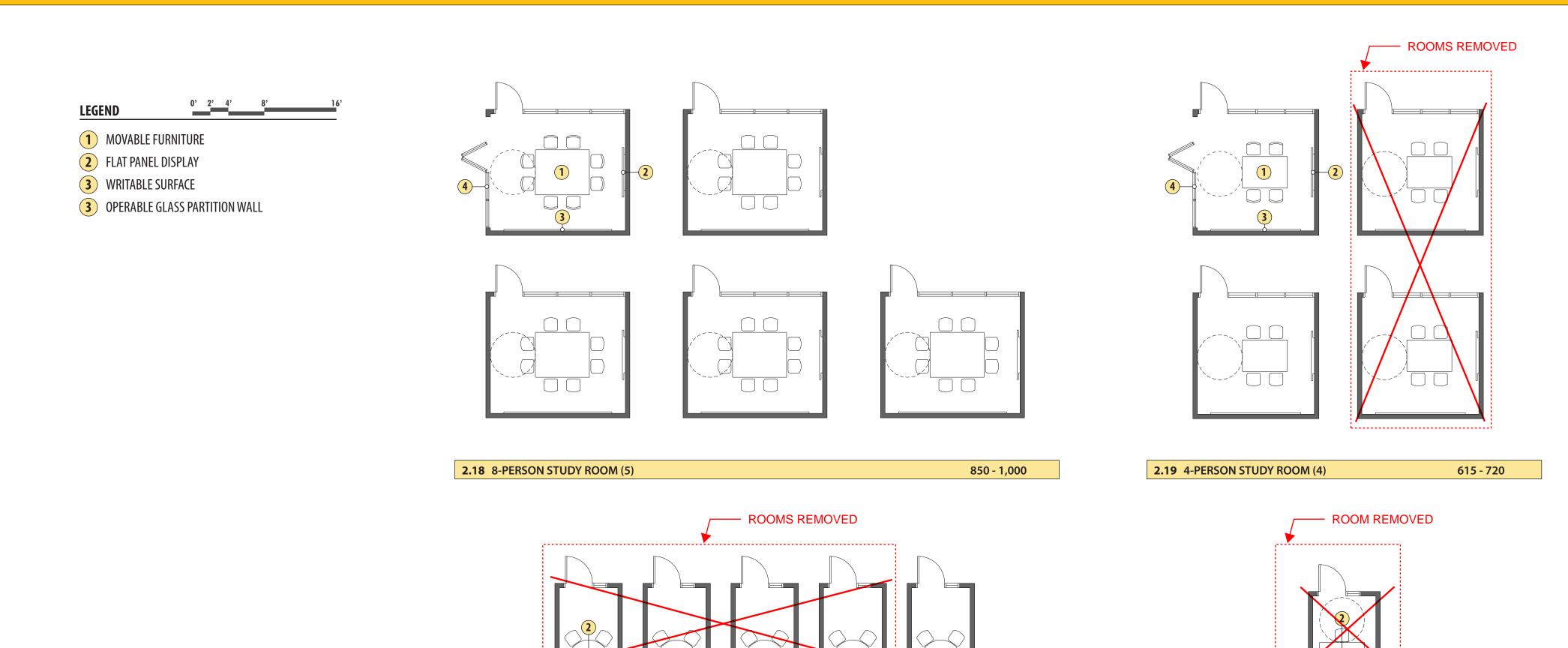


JK ARCHITECTURE ENGINEERING 2023.10.06



**GENRAL NOTE:** ALL DEPARTMENTS TO HAVE ACCESS TO MICROWAVE AND REFRIGERATOR

## **LEARNING COMMONS**





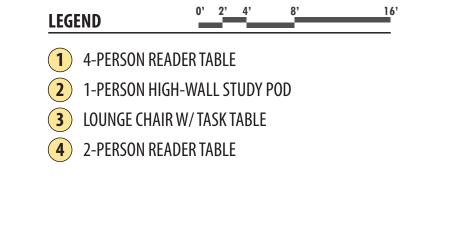


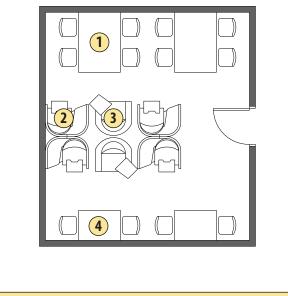
2.20     2-PERSON STUDY ROOM (5)     215 - 250     2	<b>2.21</b> 1
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PERSON STUDY ROOM

40 - 50

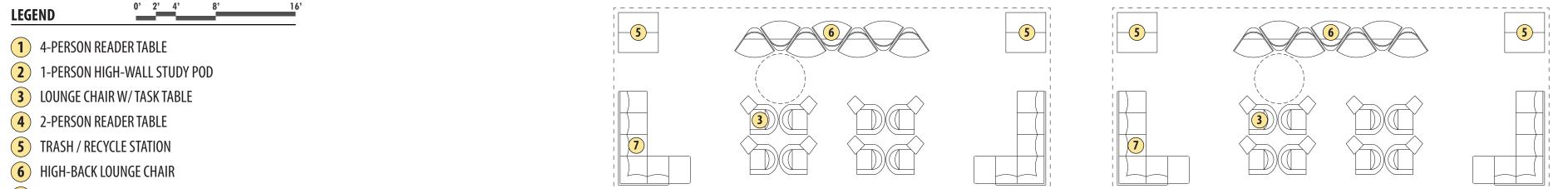
## **QUIET STUDY ROOM**





2.22 QUIET STUDY ROOM 255 - 300

## **LIBRARY OPEN STUDY**



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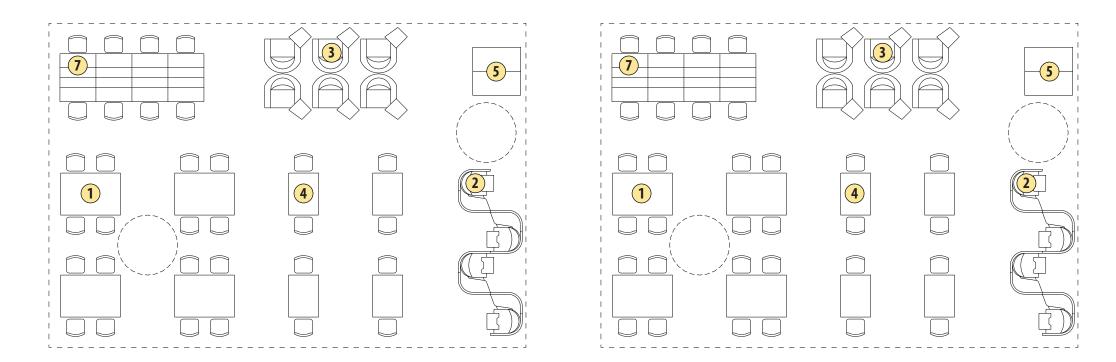
**7** INDIVIDUAL READER CARREL

8 2-PERSON HIGH-WALLED STUDY POD

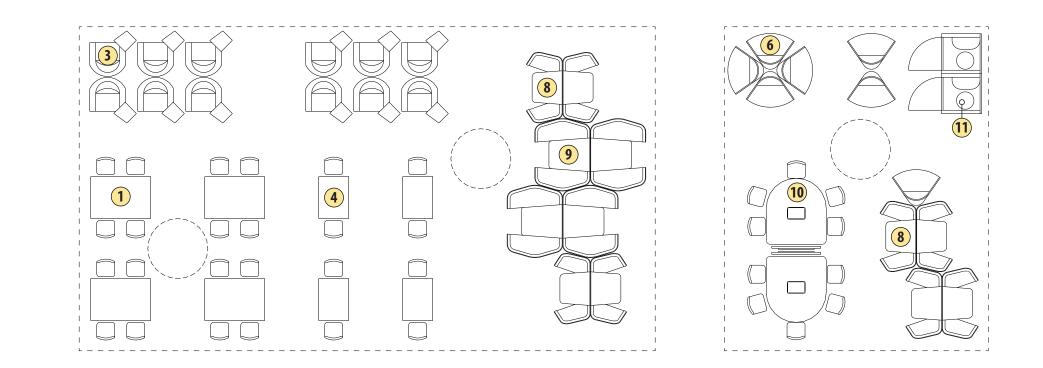
**9** 4-PERSON HIGH-WALLED STUDY BOOTH

**10** 5-PERSON MEDIA TABLE

11 VIDEO / PHONE BOOTHS



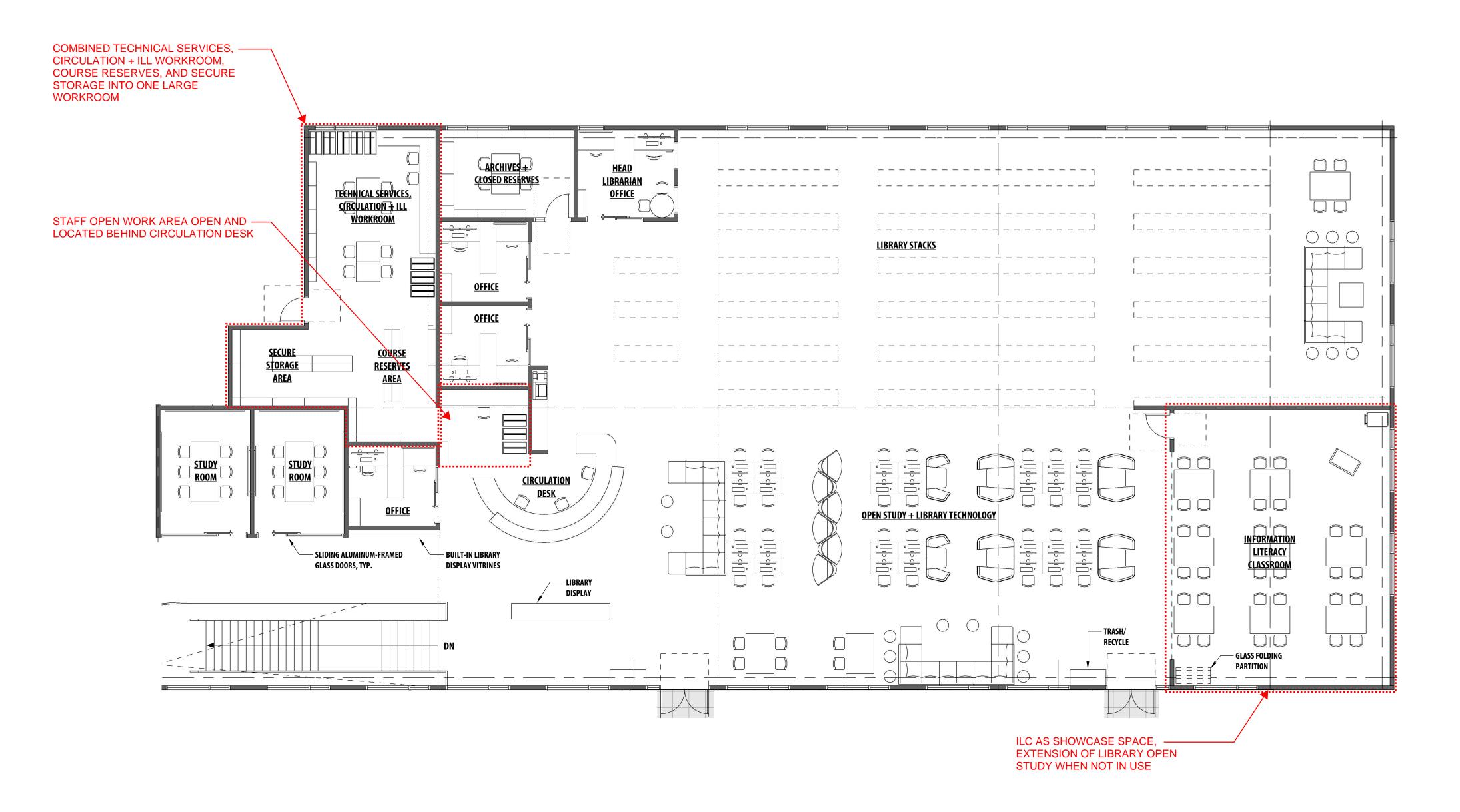
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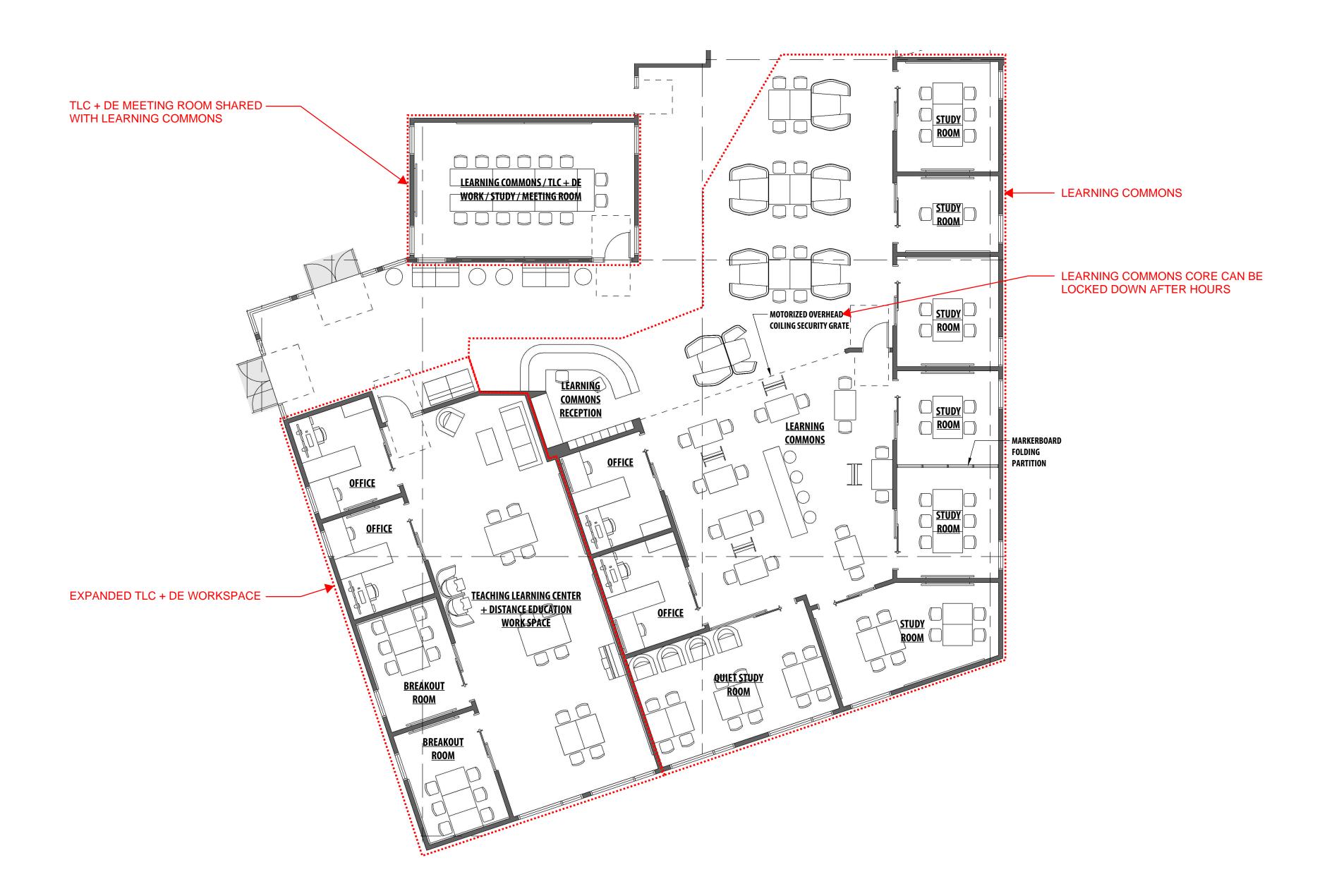
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UPDATED LIBRARY PUBLIC AREAS

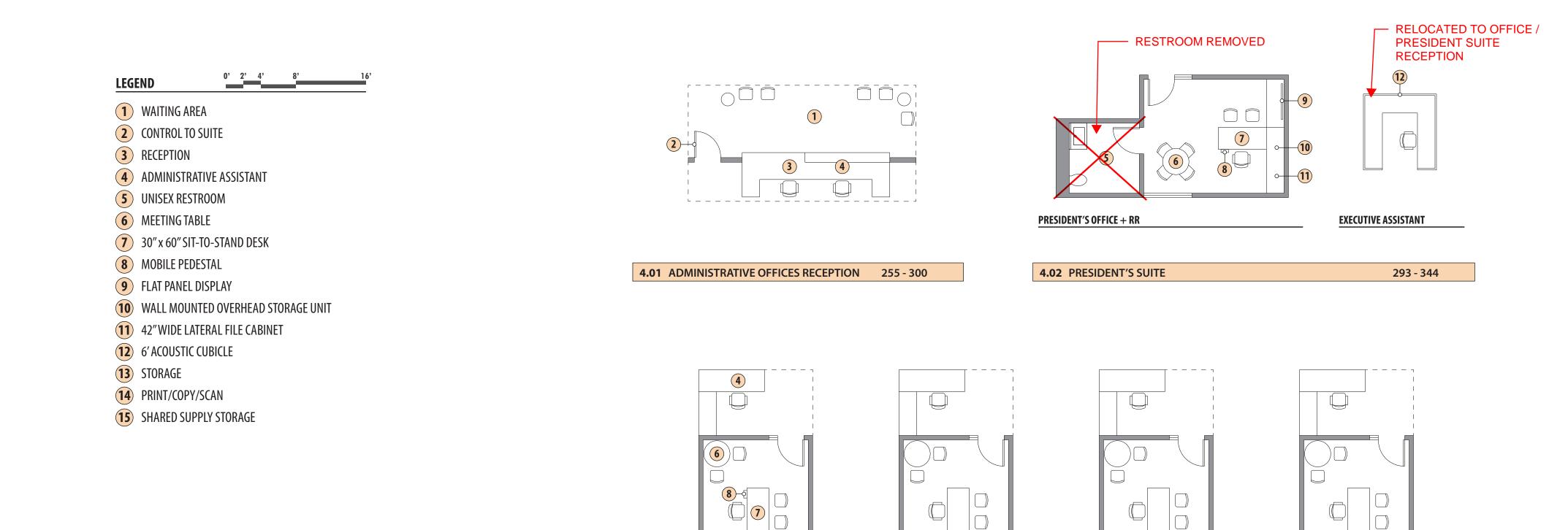


UPDATED TEACHING LEARNING CENTER + DISTANCE EDUCATION | LEARNING COMMONS



# ADMINISTRATIVE SUITE + BOARDROOM FLINT JK ARCHITECTURE

## **ADMINISTRATIVE SUITE**



4.03 VP OFFICE + ADMIN ASSISTANT

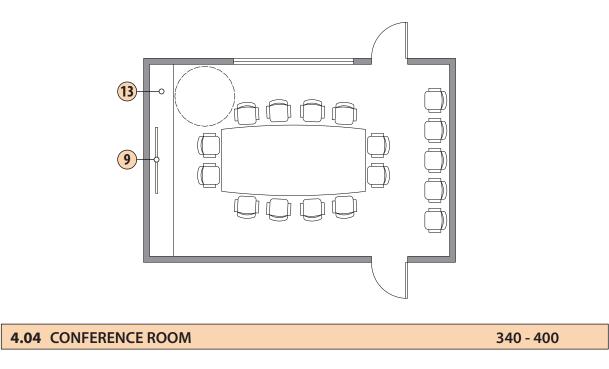
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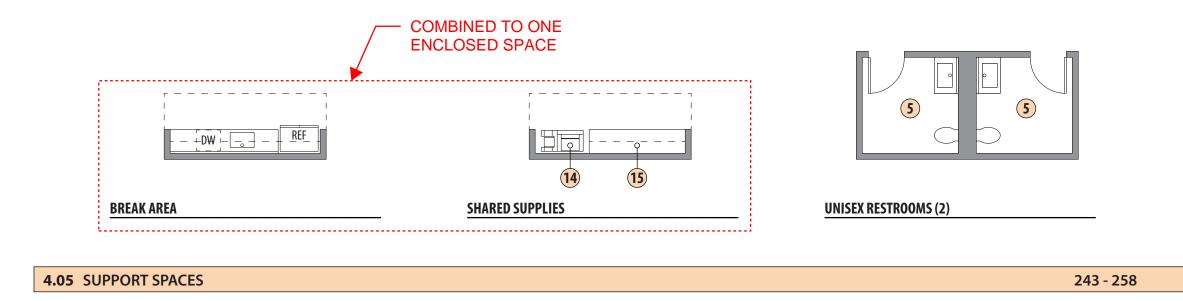
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**RENAMED "CABINET OFFICE"** 

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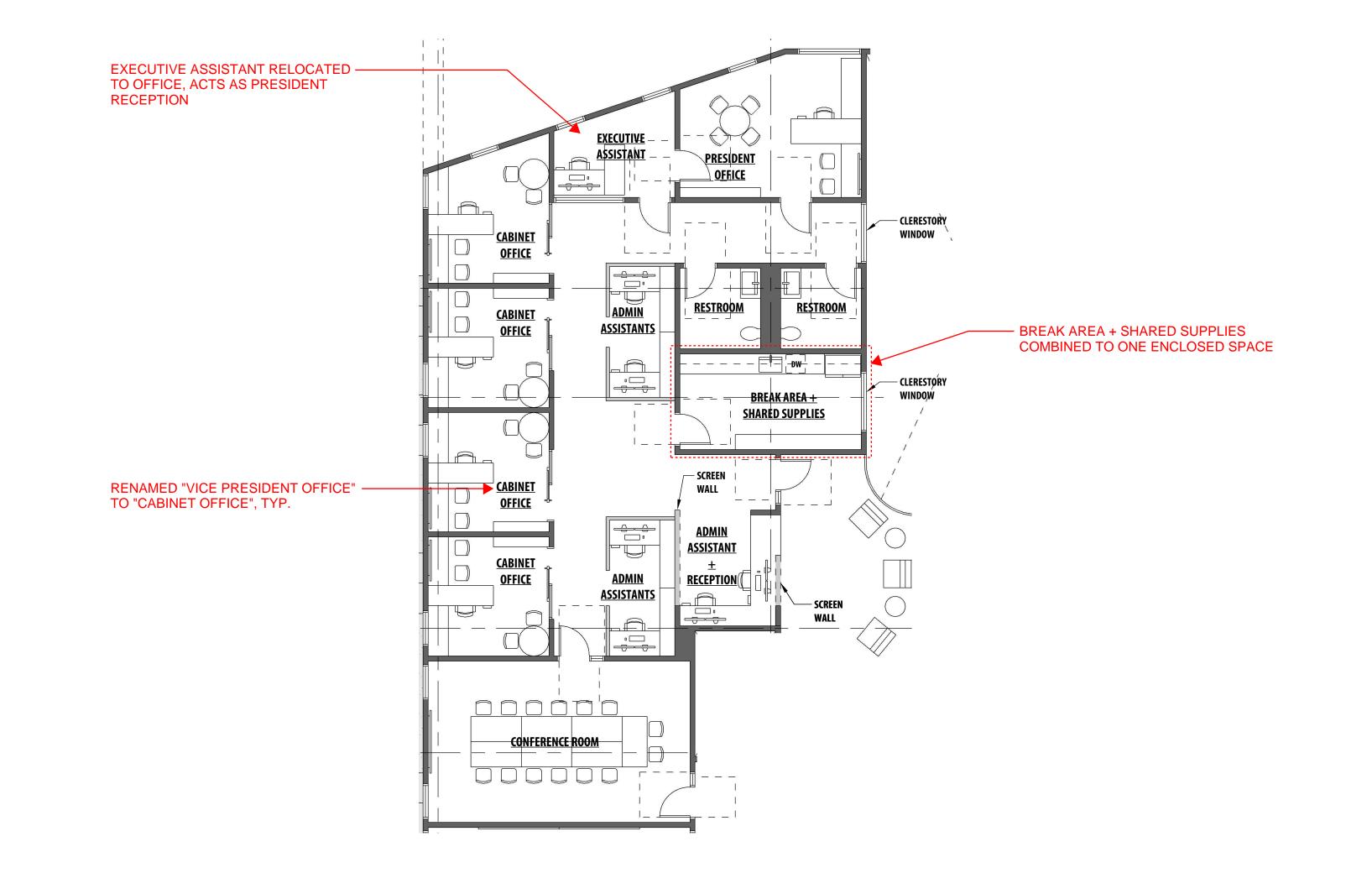


LEGEND 0' 2' 4' 8' 16'	
1 OPERABLE GLASS WALL	3 4 5
2 MOVABLE FURNITURE	
3 WRITABLE SURFACE	
4 FLAGS	
<b>5</b> OPERABLE WALL W/ WHITEBOARD FINISH	
6 MOVABLE PODIUM	
7 FLAT PANEL DISPLAY (ABOVE)	
8 BOARD DAIS	
9 CASEWORK / TEACHING WALL	
10 TEACHING / AV STATION	
11 CLASSROOM STORAGE	
12 BOARD ROOM STORAGE	
	<b>5.01</b> BOARD ROOM + CLASSROOM 1,135 - 1,335
	L

# **ADMINISTRATIVE SUITE**



UPDATED ADMINISTRATIVE SUITE



JK ARCHITECTURE ENGINEERING 2023.10.06

### Gavilan College Library & Student Resource Center (LSRC)

### **Schematic Design Submittal**

Section 4 Acoustical Report



22 September 2023

Email: rdowney@flintbuilders.com

Robert Downey Flint Builders 401 Derek Place Roseville, California 95678

#### Subject: Gavilan Community College, LSRC – Acoustical Basis of Design TA Project #23050

Dear Robert,

This report is based on our recent meetings and the latest SD progress sets and floor plans provided to our team. Our acoustical basis of design criteria and initial input to the project are contained in this report.

#### SOUND ISOLATION

#### **Interior Walls**

Interior walls between adjacent spaces should be detailed according to the attached sound isolation floor plan markup. Note that all acoustical walls must be full-height, insulated, and sealed airtight.

#### Sound Masking

A sound masking system is recommended for this project to ensure sound isolation and speech privacy throughout the facility. Private offices, open offices, study rooms, the Library, and the All Gender Restrooms will benefit significantly from the implementation of a sound masking system.

The attached sound masking floor plan markup outlines our recommended areas for sound masking coverage. These coverage areas can be expanded or reduced as the project progresses.

The sound masking frequency spectrum should meet the envelope shown in the attached detail SM1. Later in the project we will provide a zone markup along with our recommended sound level criteria for each zone. Different zones will require different sound level ranges, depending on the intended use of each space.

Design guidelines for sound masking should include a loudspeaker approximately every 144 square feet. Adjacent loudspeakers should be on separate channels alternating in a checkerboard pattern. Speakers on the same channel should not run parallel with any walkway or seating group. The spectrum should be adjusted to meet the curve provided, noting that low-frequency and high-frequency energy should be blended into the building environment and not cut or turned off.

Our preferred manufacturer for a turnkey sound masking system is LogiSon. We can also provide a custom sound masking system design as an additional service.

								© Thorburn Associates
SAN FRANCISCO		LOS ANGELES	I	ORLANDO	I.	CHARLOTTE	I	RALEIGH-DURHAM
2500 GATEWAY CENT	RE BLVD., ST	E. 800, MORRISVILLE, NC 2	27560	TEL: 919.463.9995		VIDEO: RD.TA-INC.VC	T	JustAsk@TA-INC.COM

#### **Library Staircase**

The open staircase entering the library is an acoustical concern. We anticipate noise buildup from the large open volume will create an unpleasant environment at the library entry and in particular, challenges for speech intelligibility at the Circulation Desk and focus at the nearest workstations.

Acoustically absorptive materials should be prioritized to reduce sound reflections and buildup. However, we expect a significant amount of sound transmission between floors to persist given the current design.

We are happy to review further as the design progresses.

#### **Operable Partitions**

We understand that operable partitions are planned for multiple spaces in the building.

In our experience testing and inspecting operable partitions in the field, they are generally weaker sound isolators than solid walls. They are prone to sound 'leaks' around gaps and poor seals, and they often require regular upkeep to maintain their rated performance, especially for horizontal folding systems. In cases where confidentiality is critical, we recommend using a solid wall.

We have observed that the vertical folding systems from manufacturers like Skyfold consistently provide better acoustical performance and reliability over time.

#### Classroom/Boardroom

We understand that the inner partition system in the Classroom/Boardroom will be used to convert the space into a classroom; it is not planned to have multiple concurrent events in the Boardroom Dais space and Classroom space. Therefore, the sound isolating performance of this partition is not significant.

The folding glass storefront system will separate the Classroom/Boardroom from the adjacent Lobby/Welcome center and should provide sound isolation. The system should achieve a minimum rating of STC<sup>1</sup> 40.

#### Doors

Doors into acoustically sensitive spaces such as classrooms, labs, conference rooms, and counseling offices should be solid core, have full perimeter gasketing, and should have an automatic drop bottom, as shown in detail D1. This typically yields a rating of approximately STC 30 if the door seals properly.

#### Sliding Doors

There are many sliding doors shown throughout the building. In general, it is more of a challenge to acoustically isolate spaces with sliding doors. We recommend confirming with the sliding door manufacturer that the system includes gasketing to fully seal when shut and that it achieves a minimum rating of STC 30. We recommend using hinged doors where confidentiality is required, such as the counseling areas and VP office areas.

#### Double Doors

Double doors, such as those shown in the High Tech Center, do not isolate sound well and should either be reduced to a single door where possible or include a center mullion to seal against.

#### **Interior Glazing**

Glazing looking into acoustically sensitive spaces such as classrooms, labs, conference rooms, and counseling offices should be at least 3/8-inch-thick and laminated. Laminated glass is a better sound isolator than monolithic glass of the same thickness.

#### Penetrations

All penetrations to sound rated constructions should be sealed airtight as shown in details P1 to P5. Electrical outlet boxes in sound-rated walls should not be placed back-to-back. Instead, opposing outlets in common walls should be separated by a minimum of 16-inches and outlet box pads should be wrapped around the outlet boxes. Any outlet box or electrical panel in a sound rated wall that has a face area greater than 32 square inches needs to be backed with gypsum board or sheet lead as shown in Detail P5.

#### **Roof Deck**

The floor-ceiling construction of the second level Roof Deck should have a minimum rating of STC 50. Typically, this is achieved with a normal-weight concrete composite metal deck or concrete slab, or a lightweight concrete composite metal deck with a finished ceiling.

We will review and provide further recommendations as the design is developed.

#### **ROOM ACOUSTICS**

#### **Design Criteria**

To control the buildup of sound and promote speech intelligibility, the Reverberation Time (RT60<sup>2</sup>) for the below spaces should be met.

Space	RT60
Classrooms, Labs, Conference Rooms, Boardroom, Learning Resource Center	0.6 seconds
Open Office Areas, Teaching Learning Center	0.8 seconds
Library, Learning Commons, Study Areas	1.0 seconds
Lobby/Welcome Center	1.2 seconds

#### **Acoustical Ceiling and Wall Treatment**

To achieve the design criteria, acoustically absorptive material should be incorporated on ceiling and wall surfaces.

#### Classrooms, Labs, Learning Resource Center

Classroom and lab spaces, including the Learning Resource Center, should incorporate an acoustical ceiling tile that has a minimum rating of NRC<sup>3</sup> 0.90.

Classrooms and labs where teaching occurs should incorporate acoustically absorptive panels on two adjacent wall surfaces to promote speech intelligibility. The panels should have a minimum rating of NRC 0.70. Common finish options include fabric-wrapped panels and PET felt panels.

Lab spaces that are primarily focused on quiet work instead of teaching do not require wall panels.

#### Conference Rooms, Classroom/Boardroom

Conference rooms and the Classroom/Boardroom should incorporate an acoustical ceiling tile that has a minimum rating of NRC 0.90.

These spaces should also incorporate acoustically absorptive panels on two adjacent wall surfaces to promote speech intelligibility and audio conference call quality. The panels should have a minimum rating of NRC 0.70.

#### Open Office Areas, Teaching Learning Center

Open office areas and the Teaching Learning Center should incorporate an acoustical ceiling tile that has a minimum rating of NRC 0.90.

Library

The library ceiling should incorporate an acoustically absorptive finish. At least 70% of the ceiling surface area should be covered with a material that has a minimum rating of NRC 0.90. Finish options

include 2-inch-thick panels attached directly to the deck, suspended clouds and baffles, wood slats and panels, and suspended large-format tile grids.

The suspended wood ceiling sections shown in the drawings could be designed to be acoustically absorptive by backing the wood ceiling with 2-inch-thick material. The wood ceiling system needs to have openings between slats/panels for this to be effective.

#### Lobby/Welcome Center

The lobby and welcome center areas should incorporate an acoustical ceiling tile that has a minimum rating of NRC 0.70.

The decking above the double height area should incorporate an acoustically absorptive finish. Directattach panels or acoustical spray insulation could be good options for this surface.

#### Private Offices

The acoustical ceiling tile in private offices should have a minimum rating of NRC 0.70.

We will review the application of acoustical finishes in greater detail and are happy to explore and recommend acoustical finish options as the design is developed.

#### MECHANICAL NOISE CONTROL

#### **Design Criteria**

We recommend that background noise from building systems meets the noise criterion (NC<sup>4</sup>) levels shown in the table below.

Space	Noise Criterion Level
Classrooms, Conference Rooms, Boardroom, Learning Resource Center	25-30
Private Offices, Labs	30-35
Library, Learning Commons, Teaching Learning Center, Open Office Areas, Study Areas	35-40
Lobby/Welcome Center	40-45

#### **Mechanical Unit Placement**

The drawings show two RTUs above the library space. We recommend locating these units over nearby storage rooms or corridors if possible. In general, it is especially important to keep rooftop mechanical units and any drop-down ductwork away from spaces with a rating of NC-30 or less.

#### **Ductwork Routing**

Wherever possible, main branch ductwork should not be run above/through areas with a rating of NC-30 or less.

Ductwork should run along corridors and branch off into individual rooms. Branches should not take off from the main duct trunk directly across from each other.

Ductwork should have smooth transitions not exceeding 10 degrees. Use long radius elbows and straight ducts at the entry into all rooms. Avoid using bullhead tees. Turning vanes should be the airfoil type.

Ductwork should not run along the top of full-height walls.

#### VAVs

We recommend against the use of fan-powered VAV boxes.

Terminal boxes of any kind should not be located in or above spaces having a noise criterion of NC-30 or lower. The boxes serving spaces of NC-30 should be located in an adjacent corridor or storage area and be 'up-sized' to minimize noise.

#### Diffusers, Registers, and Grilles

Diffusers should be selected for 5 to 10 NC points below the actual criteria for the spaces they are serving. The method manufacturers use for rating diffusers assumes that the room is very absorptive and that the typical listener is further away than would be found in this environment. Supply and return/exhaust air outlets are required to meet the noise criteria.

Diffusers serving spaces with a noise criterion of NC-35 or less should be preceded by a minimum of 5 feet of acoustical flex duct. Dampers should be a minimum of 10 feet upstream of all outlets.

#### **Equipment Mounting**

All mechanical equipment should be vibration isolated from the structure. The isolators should be selected based on static and dynamic load including thrust and rotational inertia. Each isolator must be selected independently for the load distribution of the equipment. Specifications should require isolation hardware selections to be submitted and reviewed.

All ductwork, plumbing, and conduit connections to vibration isolated equipment should be made using resilient connections or flexible duct, hose, or conduit.

#### Mechanical Noise Analysis

As the project progresses, we will require octave band sound power data for the specified mechanical units to complete a full mechanical noise analysis.

# # #

We trust this information is helpful. Should you have any questions or need additional information, please do not hesitate to contact us.

Sincerely, Thorburn Associates Inc.

Tave Eust

Dave Ernst Senior Associate

DEE

Philip Zumbrun

Philip Zumbrun, PE Associate Principal

Enclosure(s): Sound Isolation Floor Plan Markup Sound Masking Floor Plan Markup Sound Masking Detail SM1 Door Detail D1 Penetration Details P1-P5

<sup>1</sup> Sound Transmission Class (STC) – The Sound Transmission Class is a single figure rating designed to give an estimate of the sound insulation properties of a partition. Numerically, STC represents the number of decibels of speech sound reduction from one side of the partition to the other. The STC is intended for use when speech and office noise constitute the principal noise problem.

<sup>2</sup> Reverberation Time (RT60) – The time required for the stored or reverberant sound to decrease by 60 dB.

<sup>3</sup> Noise Reduction Coefficient (NRC) – An average of the sound-absorption coefficients of a material in the midfrequency octave bands (250, 500, 1000, and 2000 Hz) which include most of human speech.

<sup>4</sup> Noise Criterion (NC) – Noise Criterion ratings approximate the human perception of "noisiness" within buildings. The NC rating is based on octave band sound pressure levels, compared with a standard family of curves. The highest curve that the sound pressure level falls under in all octave bands is the NC rating. This rating should not be used in environments with pure tones. High NC ratings are louder and an increase of 10 points is perceived as twice as loud.

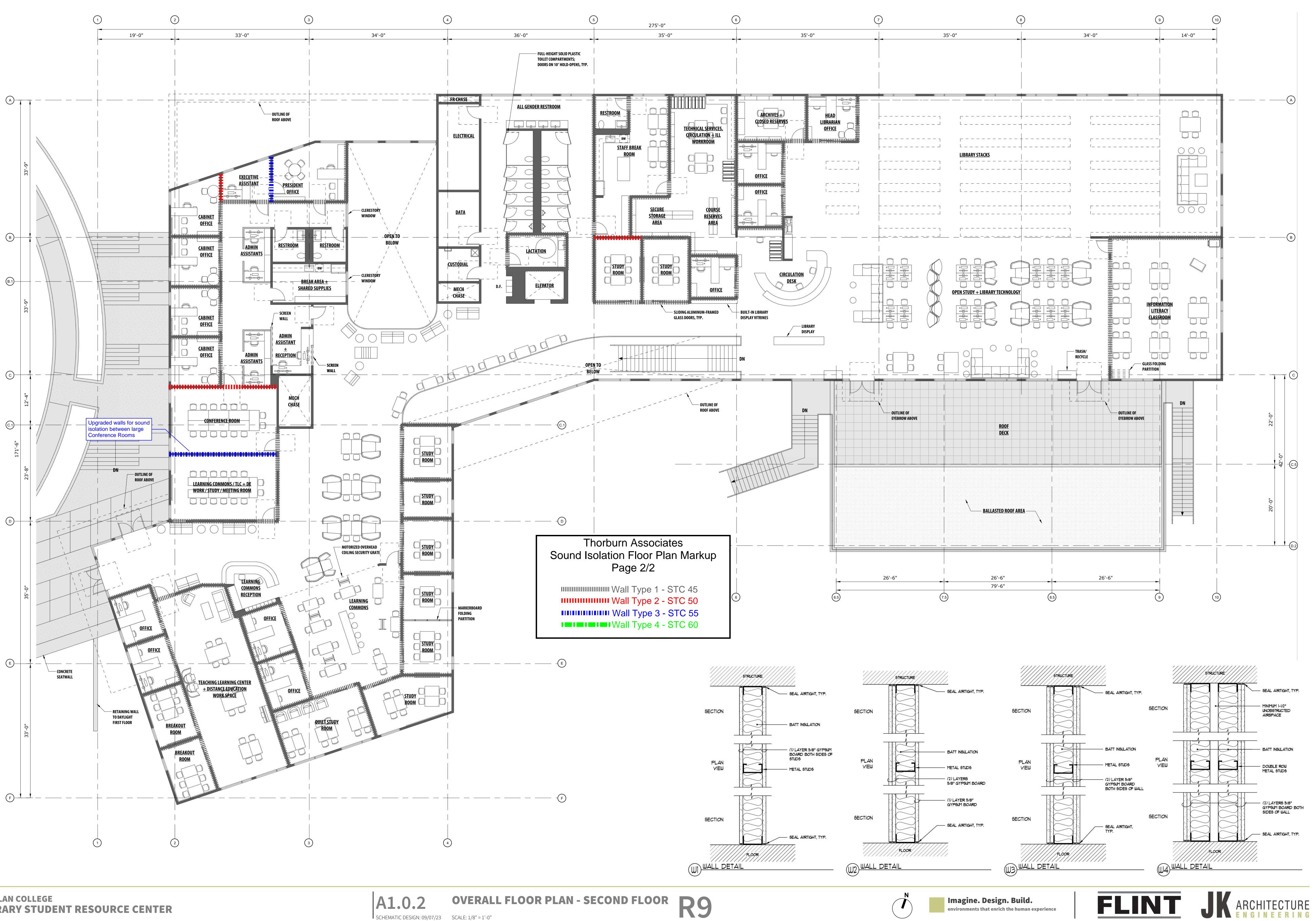


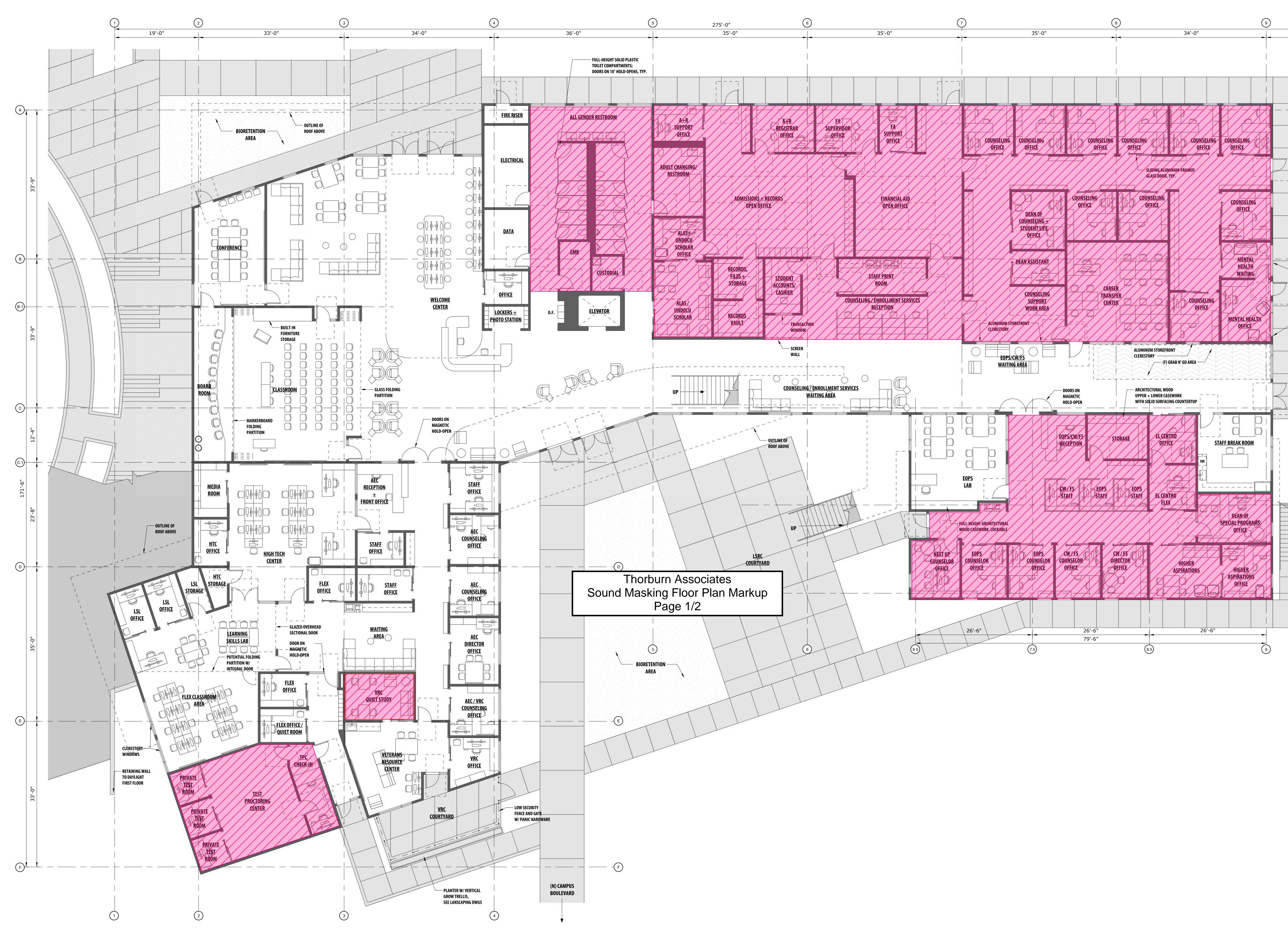
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SCHEMATIC DESIGN: 09/07/23 SCALE: 1/8" = 1'-0"

environments that enrich the human experience

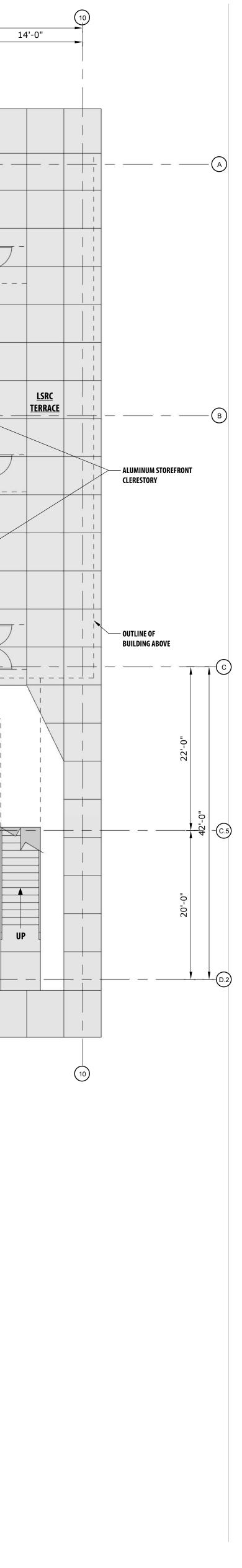
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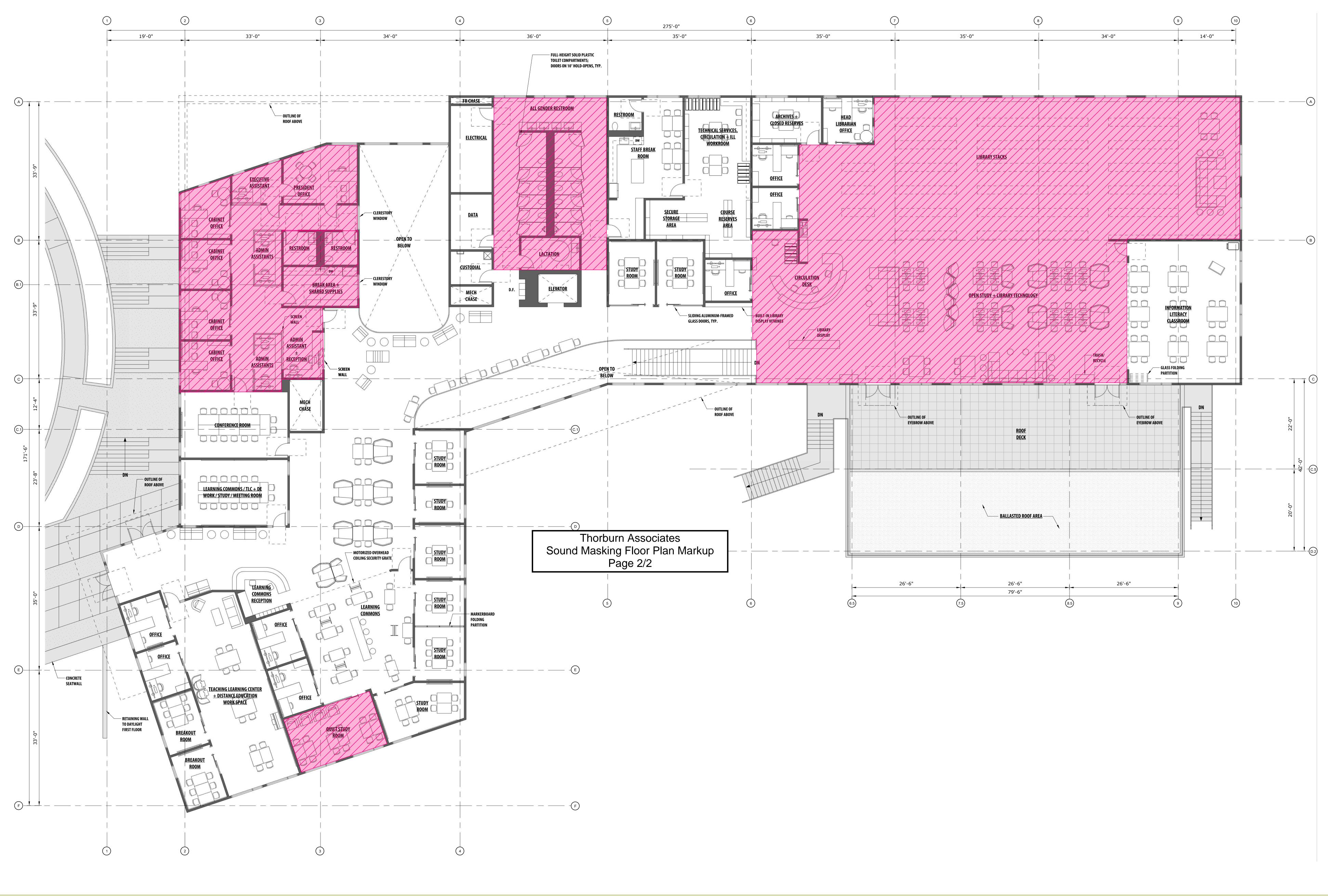


**R9** 





ARCHITECTURE



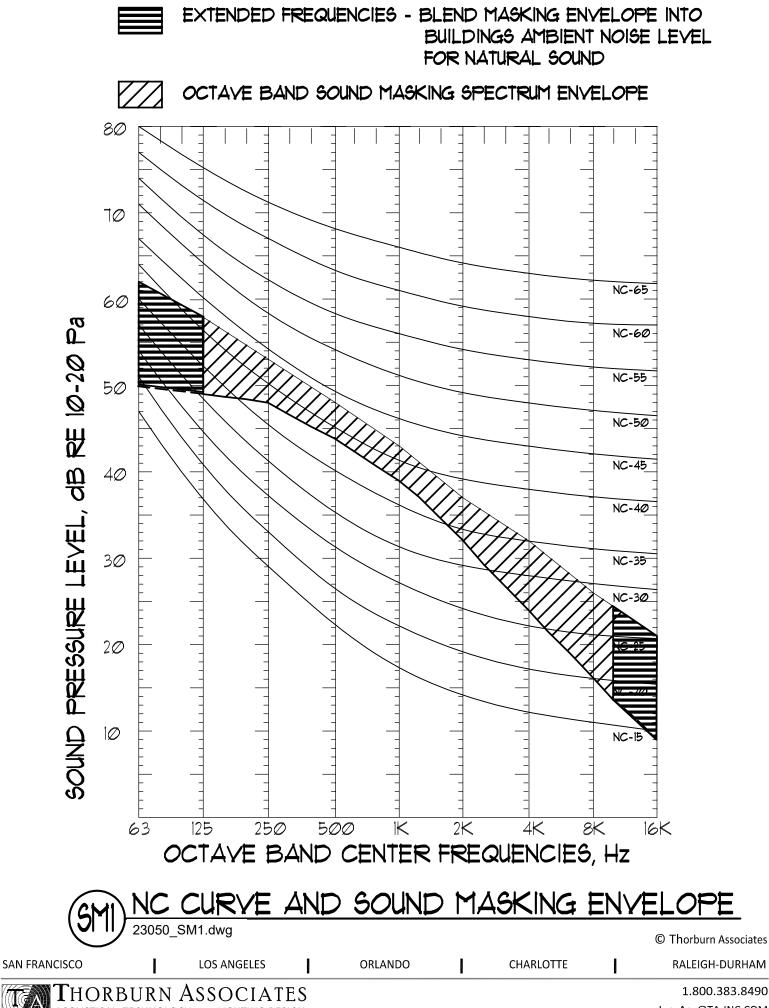


OVERALL FLOOR PLAN - SECOND FLOOR R9

SCHEMATIC DESIGN: 09/07/23 SCALE: 1/8" = 1'-0"

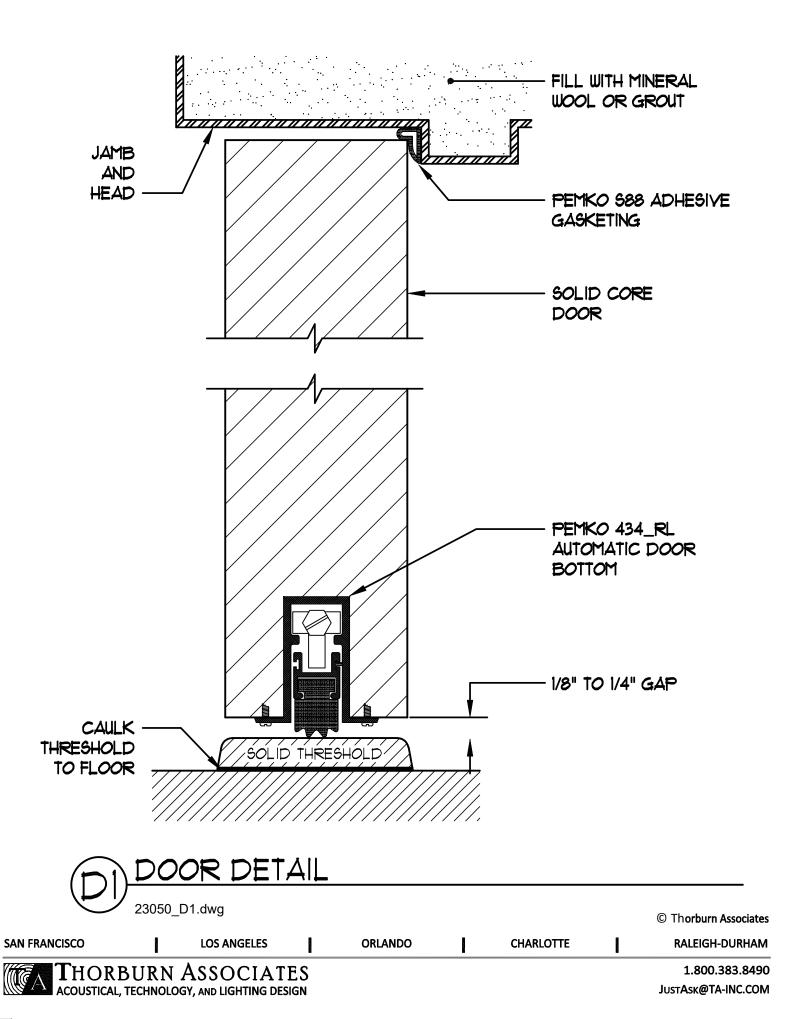


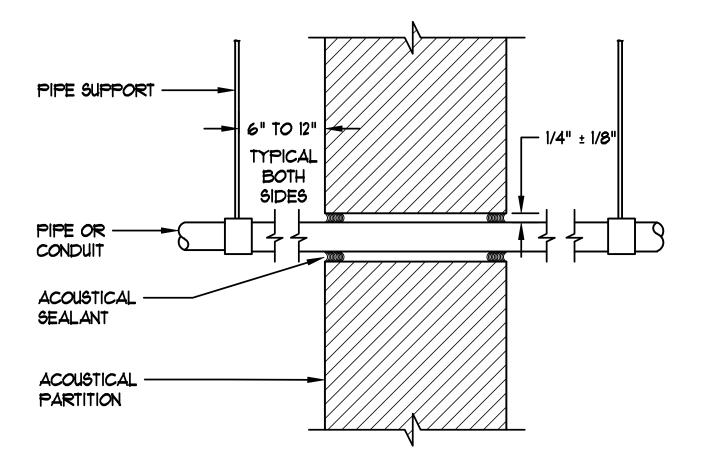


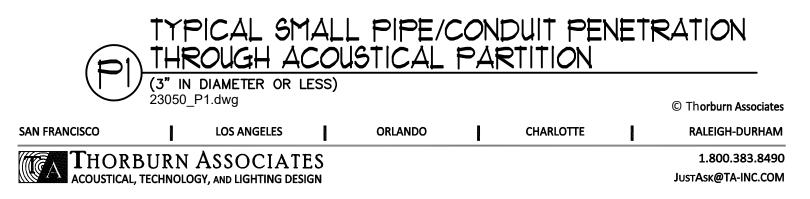


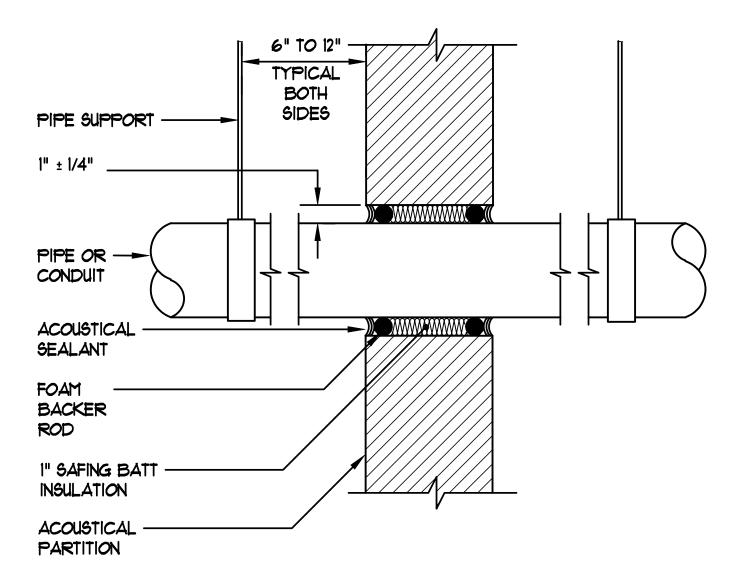
ACOUSTICAL, TECHNOLOGY, AND LIGHTING DESIGN

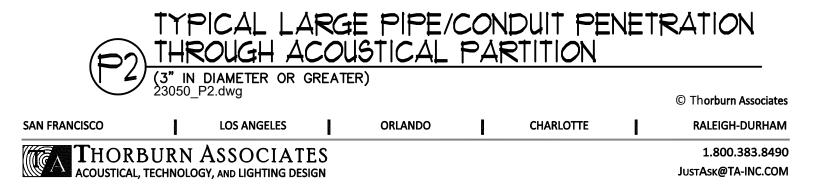
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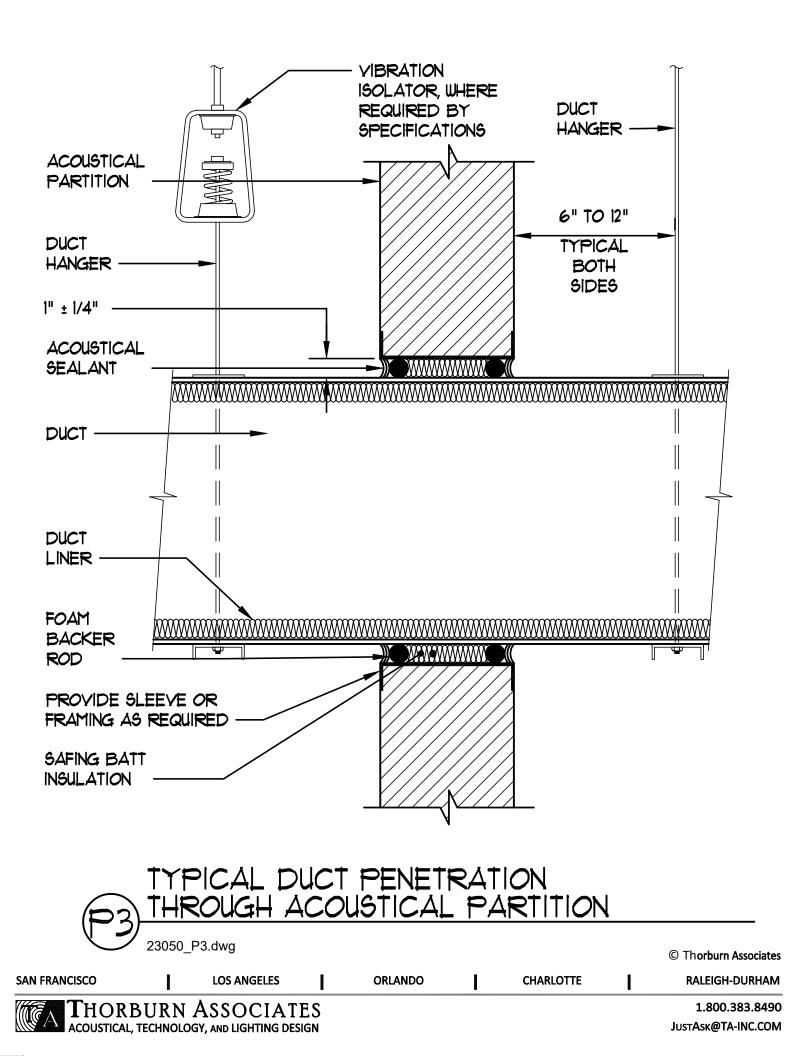


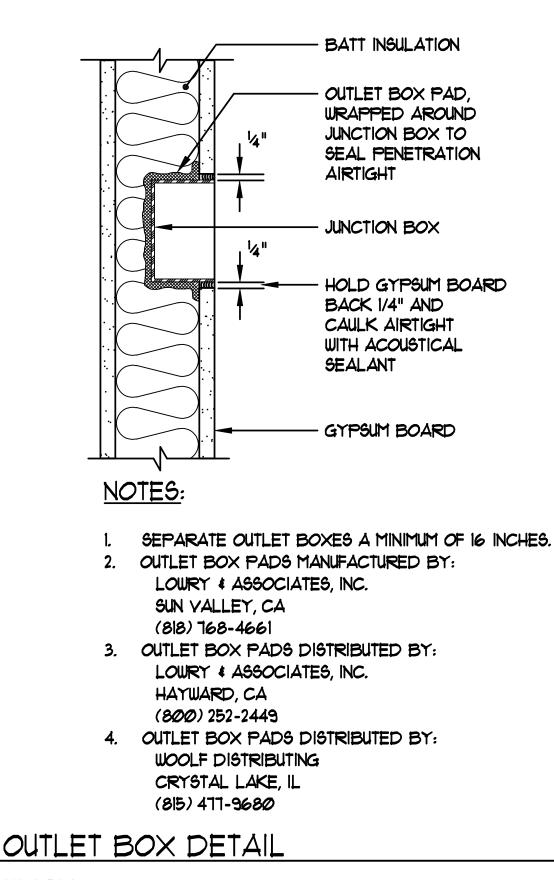




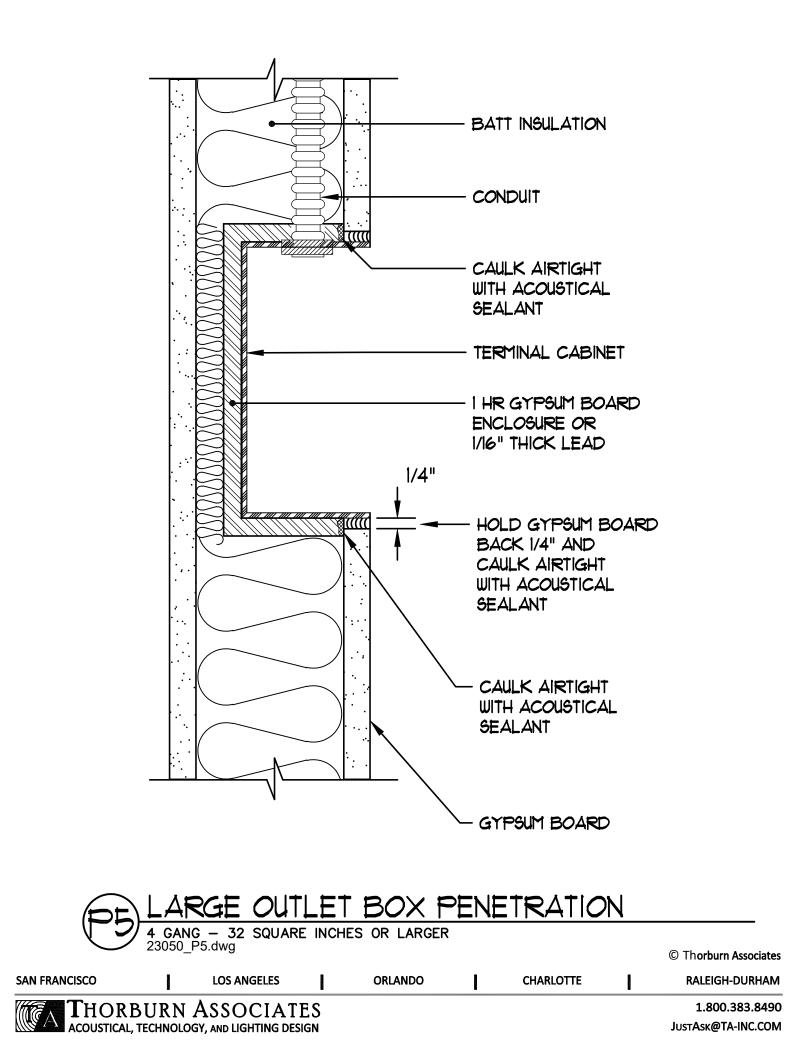








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### Gavilan College Library & Student Resource Center (LSRC)

### **Schematic Design Submittal**

Section 5 Low Voltage System Basis of Design

#### Gavilan LSRC Project Low Voltage Systems Basis of Design

The following Low Voltage Systems Basis of Design was developed with the help of the LSRC Technical Advisory Group and the IT Department at Gavilan College.

NOTE: Some items need further exploration, which will be done during Design Development.

#### 1. Horizontal Cabling and IDF racks

- a. Cabling and patch panel manufacturer.
  - i. Preference is Leviton. Fiber Leviton or Corning.
- b. Type of cables.
  - ii. COLORING SCHEME: TBD
  - iii. Station cables: (4) CAT6A
  - iv. Access Points: 2 CABLES; CAT8
  - v. Vape Sensors: NOT APPLICABLE
  - vi. Clock/PA: N/A
  - vii. CCTV: CAT8
  - viii. Security devices: POE
  - ix. Add other systems and cable types as necessary:
    - 1. PROJECTORS OR SMART BOARDS: CAT8
- c. In-wall requirements
  - i. Conduit stubbed to accessible ceilings? YES
  - ii. CABLING TO EVERYTHING
  - iii. LV CONNECTIONS AT 2 WALLS
  - iv. Minimum sized conduits? 1 ½" MINIMUM
- d. IDF requirements:
  - i.2-post and 4-post.
    - 1. COMBINATION: 2 POST AND 4 POST.
    - 2. MOUNT: MIDDLE OF ROOM.
  - ii.Wire managers? YES, VERTICAL.
  - iii.Ladder rack? YES
- e. Owner Furnished Equipment (i.e. Network switches).
  - i. AP W/SERVICE LOOP (FOR FLEXIBILITY FOR FUTURE PLACEMENT)
    - (MINIMUM 60-FOOT GRID)
  - ii. SWITCHES
  - iii. SECURITY CAMERAS

#### 2. Clock/PA (This category is more for K-12 but it's good to ask)

- a. Manufacturer/software:
  - i.VOICE OVER IP IS CURRENTLY BEING DISCUSSED.
- b. Does campus already own the software?
  - i. Not yet. TBD.
- c. Who is responsible for adding FUTURE devices to the program? (Typically this is the IT department)
  - i. IT DEPARTMENT (TBD WHEN SYSTEM IS CHOSEN BY DISTRICT)

d. Owner Furnished Equipment (i.e. IP Clocks/speakers, headend software existing).

- i. CLOCKS HARD WIRE POWER TO CLOCKS
- ii. WIRELESS ACCESS POINTS ON EXTERIOR ALL SIDES OF BUILDING 6
   1. EXTERIOR ACCESS POINTS: 120 DEGREE DIRECTIONAL; OMNI-DIRECTIONAL IS AN OPTION

#### 3. Audio-visual (SAN BENITO CAMPUS as standard)

- a. Specified manufacturer? (i.e. Extron, Crestron, PREFERRED.
- b. This is one of the most important sections to be clear what is needed here: below are some examples, gray areas here equate to scope gaps and change orders, and usually towards the end of the project when they are the most expensive.
- c. Projectors (short throw? Or ceiling mounted) and projector screens or monitors? THERE'S A MIX AT SAN BENITO; SPECIFIC TO BUILDING
- d. STUDY ROOMS TO HAVE NETWORKED MONITOR WITH ABILITY TO CAST WIRELESSLY
- e. Digital signage? YES. NOT INTERACTIVE.

iv.Differences between classrooms and conference (group) rooms c. Owner Furnished Equipment (i.e. TVs, monitors, projectors, projector screens

controls, etc.).

### 4. Security – Intrusion detection, Access control, CCTV (CONFIRM THAT WE HAVE THE STANDARDS AND WHAT HAS BEEN CHOSEN FOR SAN BENITO CAMPUS)

a. Manufacturers

i.Intrusion: NA

ii.Access Control: SEE SAN BENITO AS A STANDARD

iii.CCTV Cameras: SEE SAN BENITO AS A STANDARD

iv.CCTV recording (NVR, cloud base?): SEE SAN BENITO AS A STANDARD. CAMERAS WITH SELF STORAGE?

b. What doors need Access controls? Shown them on the drawings. ALL EXTERIOR DOORS KEYLESS FOBS WITH RECEIVER, IDF/MDF, ANY SPACE MANAGING CASH, ANY ROOM STORING EXPENSIVE EQUIPMENT.

c. What is required for Intrusion detection? Motion? Door contacts? Glass break? Etc. NA

d. I have noticed panic buttons being installed in all rooms in recent college projects, this is part of the Access Control Scope, is that required? YES AT ADMIN OFFICE, MAIN AND EXEC SPACE, TO BE DISCUSSED WITH GROUPS. HARD WIRED. MESSAGE TO SECURITY ONLY NEEDS TO TAKE PRECEDENCE FOR LIFE SAFETY. CAREFULL ATTENTION TO HOW THIS WORKS.

e. Owner Furnished Equipment (i.e. Cameras, NVRs, cloud base recording software, etc.)

i. CONTRACTOR PURCHASED AND INSTALLED

#### 5. ERRCS System

a. Is the Electrical Contractors scope to design and install? Make sure that this scope is clearly defined. PROVIDE PROVISIONS, CONDUIT PATHS TO ROOF.

b. There is always a spec section for this but it's always a gray area. There are usually unknowns to both the owner and design team until much later in the project, but the more info here, the better and cheaper and it can be captured early.

### Gavilan College Library & Student Resource Center (LSRC)

### **Schematic Design Submittal**

### Section 6 Statement of Probable Cost



### GJCCD Library and Student Resource Center Project Gilroy, California

Schematic Design Documents Statement of Probable Cost October 6, 2023 FLINT Project Number - 2292

Prepared for Gavilan Joint Community College District

ROSEVILLE • SAN JOSE • SAN DIEGO • ORANGE COUNTY PHONE: 916-757-1000 / CA LICENSE #1085096

#### **Table of Contents**

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Variance Report Summary	6
Variance History	8
Proposed Value Engineering	9
Construction Cost Summary by Division	11
Site Improvements Detail	12
LSRC Building Detail	23

#### Narrative Statement

#### 1. Basis of Estimate:

This statement is based on the SD Package dated October 6th, 2023 from JKAE and associated consultants as well as Stakeholder/user group and Executive Committee meetings and feedback.

#### 2. Items Not Included Within the Estimate:

- A . Increment #0 Utility Infrastructure project. Increment #0 construction scope shall be completed prior to start of construction of Increment #1 and #2
- B. Testing and Inspections
- C. DSA Plan check fees and building permit fees
- D. Utility Connection Fees
- E. Cost of off-site construction
- F. Major site and building structures demolition unless noted in body of estimate
- G. Costs of hazardous material surveys, abatement, and disposals unless noted within the estimate
- H. All site gas excluded
- I. New transformer, including installation, provided by others
- J. Site Low Voltage conduit to be provided by others directly North of building footprint
- K. No import of topsoil provided. Site landscaping assumed to be provided via onsite soil conditions.
- L. Furnishings, fixtures and equipment (FF&E), including site furniture, except built-in cabinets, counters and other casework indicated
- M. Concrete curing of slab on grade is to be provided by wet cure and no compound agents
- N. Elevated or depressed slab on grade
- O. Roof tie-back for support of maintenance crew (Not anticipated)
- P. Paging and clocks, not anticipated
- Q. LEED Certification and documentation
- R. Costs associated with Insurances included within the OCIP
- S. Any item not specifically called out in the body of this estimate
- T. Battery storage structure for PV System

#### 3. Qualifications / Assumptions

- A. All CIP walls to be plywood formed concrete retaining walls unless indicated
- B. Retaining walls assumed with French drainage
- C. Roadway drainage to be provided via sloped asphalt and not concrete gutters
- D. Exterior wall insulation R-19 and not anticipated in soffit cavities or underside of roof deck
- E. All doors assumed as non-rated assemblies
- F. All metal decking assumed as non-acoustical
- G. Moisture control or mitigation applications. Flooring assumed per high RH adhesive
- H. Fire water or domestic water pump not anticipated
- I. UG utilities that are shown in Inc. 0 take precedence and costs have been removed from this estimate
- J. Existing sewer is anticipated to be relocated outside footprint in site infrastructure project
- K. Items that were not included in original criteria documents have been listed as alternate options
- L. Final Geotechnical Report pending

10/06/23

#### Narrative Statement

#### 4. Notes:

We recommend that the client review this statement, and that any interpretations contrary to those intended by the design documents be fully addressed. This statement is based upon a detailed measurement of quantities when possible, and reasonable allowances for items not clearly defined in the documents. This estimate is based on historical cost data and does not include material quotes or subcontractor bids (unless specified).

The following variance report is based on comparison to the R3 budget estimate dated 06/02/23 and reviewed with the Gavilan College team. Subsequent to the R3 budget update, FLINT prepared a preliminary SD Submittal budget update which was reviewed by the Gavilan College team, however, due to numerous District directed floor plan changes, the SD preliminary design and budget update were not submitted until the design and budget were in aligned.

(Please advise if any of the items indicated above should be incorporated into this estimate.)

### CONSTRUCTION COST SUMMARY

Element		Area	Cost / SF	Total
A . Site Improvements	2.5 Acres	108,570 SF	\$60.13	\$6,527,985
B. LSRC Building		49,605 SF	\$1,034.39	\$51,311,139
C.Proposed Shift from Phase 2 to P	hase 1 Items			-\$1,250,000
Subtotal Cost of Design and Co	onstruction	49,605 SF	\$1,140.79	\$56,589,124
D. Phase 1 CO # 01 Added Site Inves	\$98,794			
E. Phase 1 CO # 02 Time Extension	and Additional P	rogramming/Design	Services	\$566,984
F. Phase 1 CO #03 Proposed Phase	1 Items (see Bre	akout Below)		
F1 . Early Procurement of Materia	ls			\$300,000
F2 . BIM/VDC Shop Drawings				\$750,000
F3 . General Allowance				\$200,000
G . District Contingency				\$2,000,000
Total Cost of Design and Const	ruction	49,605 SF	\$1,219.73	\$60,504,902

### VARIANCE REPORT SUMMARY

Element	SD Final Area	Package, 1	10/06/23 Total
A. Site Improvements	108,570 SF	\$60	\$6,527,985
B. LSRC Building	49,605 SF	\$1,034	\$51,311,139
C.Proposed Shift from Phase 2 to Phase 1 Items			-\$1,250,000
Additional Program SF			Included
Subtotal Cost of Design and Construction	49,605 SF	\$1,141	\$56,589,124
D. Phase 1 CO # 01 Added Site Investigation and Borings			\$98,794
E. Phase 1 CO # 02 Time Extension and Additional Programming/Design Services			\$566,984
F.Phase 1 CO #03 Proposed Phase 1 Items (see Breakout Below)			
F1 . Early Procurement of Materials			\$300,000
F2 . BIM/VDC Shop Drawings			\$750,000
F3 . General Allowance			\$200,000
G. District Contingency			\$2,000,000
Total Cost w/ District Contingency	49,605 SF	\$1,220	\$60,504,902
District Target Budget			\$51,516,940
Delta			\$8,987,962
Remaining Delta from Concept R3 Update			\$1,172,666
Variance from Concept R3 Update to SD Package			\$7,815,296
Site Variance from Concept R3 Update			\$3,425,153
1. Increased site limits by 58,570 SF from allowed Concept R3 limits			\$3,425,153
2. Added grading and gravel for fire access road			\$68,222
3. Added fire egress on East side of building which extended site limits			\$114,813
Building Variance from Concept R3 Update			\$4,224,366
<ul> <li>Div 3:</li> <li>4. Concrete exceeded allowance due to size of foundation elements. Foundation elements to be cases, reduced in size, during DD phase</li> </ul>	e optimized, and in	many	\$165,000
<b>Div 4:</b> 5 . Masonry exceeded allowance due to size of stone and transitioning to other finished and ope	nings		\$71,000
Div 5:			<b></b>
<ul> <li>Railings exceeded allowance due to quantity increase and specified product as stainless stee galvanized/painted (previously included as VE)</li> <li>Added Ord outpring stain a maps from an of deals</li> </ul>	el. Budgeted for		\$217,000
<ul><li>7 . Added 2nd exterior stair egress from roof deck</li><li>Div 6:</li></ul>			\$40,000

### VARIANCE REPORT SUMMARY

8.	Millwork exceeded allowance. Allowed 275 LF whereas 1,286 LF Is shown (previously included as VE)	\$769,000
	Div 7:	
	Fiber Cement quantity decreased by 1,750 SF	(\$110,000)
	Metal Panels quantity increased by 2,390 SF	\$150,000
11.	Roofing specified as 80mil w/ KEE, budgeted for 60mil (previously included as VE)	\$150,000
12 .	Pedestal Pavers quantity reduced and replaced with ballast	(\$35,000)
	Div 8:	
	Exterior glazing increased by 2,600 SF	\$390,000
14 .	Interior glazing and doors, frames, hardware exceeded allowance. Previously allowed 5,000 SF glazing, 50% hollow metal / 50% storefronts doors and design resulted in 850 SF glazing, 15% HM / 40% storefront / 45% sliding glass doors	\$340,000
15 .	Added coiling security door	\$32,000
	Div 9:	
16 .	Framing and sheathing exterior walls increased 1' and further evaluation of exterior framing increased quantity due to waste and adjusted production factor	\$460,000
17.	Added sound masking for 22,000+ SF of floor space	\$110,000
18 .	Interior flooring percentage of LVT to Carpet assumed higher than allowance. Added epoxy for restrooms originally assumed as LVT and added wayfinding allowance for carpet tiles	\$130,000
	Div 10:	
	Added folding partition with door and exceeded allowance on glazed folding walls	\$40,000
20 .	Glazed folding partitions unit cost increased based on subcontractor input.	\$50,000
21.	Added full height solid toilet partitions for gender neutral restrooms	\$60,000
22 .	Exterior signage quantity and specifications exceeded allowance and includes backlighting	\$70,000
23 .	Added metal lockers	\$30,000
24 .	Added markerboards and tackboards previously excluded during VE and assumed as OFOI	\$50,000
	Div 11:	
25 .	Quantity of library shelving exceeded allowance	\$81,873
26 .	Div 14: Elevator unit costs increased based on subcontractor input	\$15,000
	Div 21:	
27 .	Fire Suppression savings from Bid	(\$30,000)
28 .	Div 22: Added (2) remote sink locations	(\$45,719)
	Div 23:	
29 .	HVAC increased from allowance due to increased zoning and control preferred by district.	\$458,764
30 .	<b>Div 26:</b> Data / Telecom exceeded the previous VE allowance	\$595,260
	Additional Cost Variance from Concept R3 Update	
31.	Phase 1 CO # 01 Added Site Investigation and Borings	\$98,794
32 .	Phase 1 CO # 02 Time Extension and Additional Programming/Design Services	\$66,984

#### VARIANCE HISTORY

	SD Final Package, 10/06/23	SD Preliminary Package, 08/14/23	Concept R3 Update, 06/02/23	Concept R3, 051623	R2 Target Budget, 05/04/23	Concept R2, 05/04/23	Concept R1, 04/24/23	Original, 01/26/23
lement	Area Total	Area Total	Area Total	Area Total				
A. Site Improvements	108,570 SF \$60 \$6,527,985	98,440 SF \$61 \$6,027,375	50,000 SF \$62 \$3,102,833	50,000 SF \$62 \$3,094,738	8 50,000 SF \$62 \$3,101,466	95,000 SF \$56 \$5,356,120	95,000 SF \$57 \$5,449,139	95,000 SF \$61 \$5,747,88
B. LSRC Building	49,605 SF \$1,034 \$51,311,139	49,480 SF \$997 \$49,315,070	49,236 SF \$956 \$47,086,773	50,055 SF \$950 \$47,562,568	B 50,055 SF \$917 \$45,915,474	50,055 SF \$1,025 \$51,316,672	2 50,055 SF \$1,067 \$53,388,226	42,220 SF \$1,227 \$51,785,224
C . Proposed Shift from Phase 2 to Phase 1 Items	-\$1,250,000	N/A	N/A		N/A	N/A	N/A	N/#
Additional Program SF	Included		Included	Included	Included	Included	Included	5,116 SF \$920 \$4,706,298
subtotal Cost of Design and Construction	49,605 SF \$1,141 \$56,589,124	49,480 SF \$1,118 \$55,342,445	49,236 SF \$1,019 \$50,189,606	50,055 SF \$1,012 \$50,657,300	6 50,055 SF \$979 \$49,016,940	50,055 SF \$1,132 \$56,672,792	2 50,055 SF \$1,175 \$58,837,365	47,336 SF \$1,315 \$62,239,409
D. Phase 1 CO # 01 Added Site Investigation and Borings	\$98,794	\$98,794	N/A		N/A	N/A	N/A	N/A
E. Phase 1 CO # 02 Time Extension and Additional Programming/Desi	ign Services \$566,984	\$442,784	\$500,000	\$10 \$500,000	0 \$10 \$500,000	\$10 \$500,000	твс	тв
F. Phase 1 CO #03 Proposed Phase 1 Items (see Breakout Below)								
F1 . Early Procurement of Materials	\$300,000							
F2 . BIM/VDC Shop Drawings	\$750,000							
F3 . General Allowance	\$200,000							
G. District Contingency	\$2,000,000	\$2,000,000	\$2,000,000	\$40 \$2,000,000	D \$40 \$2,000,000	\$40 \$2,000,000	\$40 \$2,000,000	\$47 \$2,000,000
otal Cost w/ District Contingency	49,605 SF \$1,220 \$60,504,902	49,480 SF \$1,170 \$57,884,023	49,236 SF \$1,070 \$52,689,606	50,055 SF \$1,062 \$53,157,300	6 50,055 SF \$1,029 \$51,516,940	50,055 SF \$1,182 \$59,172,792	2 50,055 SF \$1,215 \$60,837,365	47,336 SF \$1,357 \$64,239,409
District Target Budget	\$51,516,940	\$51,516,940	\$51,516,940	\$51,516,940	\$51,516,940	\$51,516,940	\$51,516,940	
Delta	\$8,987,962	\$6,367,083	\$1,172,666	\$1,640,366	(\$0	\$7,655,852	\$9,320,425	
iotal Cost w/ District Contingency	49,605 SF \$1,220 \$60,504,902 \$51,516,940	49,480 SF \$1,170 \$57,884,023 \$51,516,940	49,236 SF \$1,070 \$52,689,606 \$51,516,940	50,055 SF \$1,062 \$53,157,300 \$51,516,940	6 50,055 SF \$1,029 \$51,516,940 \$51,516,940	50,055 SF \$1,182 \$59,172,792 \$51,516,940	50,055 SF \$1,215 \$60,837,365 \$51,516,940	

### PROPOSED VALUE ENGINEERING

	SD Final Package, 10/06/23		
Element	Area		Total
A. Site Improvements	108,570 SF	\$60	\$6,527,985
B. LSRC Building	49,605 SF	\$1,034	\$51,311,139
C.Proposed Shift from Phase 2 to Phase 1 Items			-\$1,250,000
Additional Program SF			Included
Subtotal Cost of Design and Construction	49,605 SF	\$1,141	\$56,589,124
D. Phase 1 CO # 01 Added Site Investigation and Borings			\$98,794
E. Phase 1 CO # 02 Time Extension and Additional Programming/Design Services			\$566,984
F.Phase 1 CO #03 Proposed Phase 1 Items (see Breakout Below)			
F1 . Early Procurement of Materials			\$300,000
F2 . BIM/VDC Shop Drawings			\$750,000
F3 . General Allowance			\$200,000
G. District Contingency			\$2,000,000
Total Cost w/ District Contingency	49,605 SF	\$1,220	\$60,504,902
District Target Budget			\$51,516,940
Delta			\$8,987,962
SD Final - Proposed VE for SD, if all accepted			(\$8,987,962)

#### **Proposed Value Engineering Options**

#### Site VE

1.	Remove topcast and provide broom finish for all concrete finishes.	(\$24,773)
2.	Eliminate unit pavers and provide concrete paving	(\$26,849)
3.	Eliminate wall between VRC and test proctoring, including trellis	(\$61,265)
4.	Remove 50% of site lighting fixtures	(\$97,500)
5.	Reduce Bioswale coverage by 50% and remove from site SF	(\$61,665)
	Building VE	
1.	Optimize foundation during DD phase. Assume 10% reduction of foundation sizes	(\$111,712)
2.	Change masonry to thin set veneer to eliminate edge closure issues	(\$92,959)
3.	Change railings from stainless steel to galvanized/painted with flat top bar and pickets	(\$219,310)
4.	Change low roof deck from concrete to singly ply membrane. Need to confirm pedestal pavers work with singly ply on metal decking	(\$19,500)
5.	Eliminate GRFC column covers from exterior columns and provide round columns	(\$60,863)
6.	Reduce casework by 50% (quantity depends on type being removed)	(\$623,639)

### **PROPOSED VALUE ENGINEERING**

Uppers \$400 LF Base \$800 LF Open Storage \$650 LF Reception Desk Base and Top \$1400 LF Reception Desk Upper Countertop \$800 LF 7 . Change roofing membrane to 60mil, mechanically fasted, 1/4" coverboard, with 20 yr warrantee	(\$233,086)
8 . Reduce stone veneer by 50% and replace with cement plaster	(\$147,963)
9. Change exterior finishes, other than stone, to cement plaster	(\$716,183)
Cement Plaster \$30 SF Fiber Cement & Metal Panel Flex \$53 SF Metal Panel Flush \$68 SF Stone Veneer \$85 SF 10 . Eliminate exterior soffit finishes and have exposed to metal decking above.	(\$359,915)
11 . Eliminate NW corner canopy	(\$104,000)
12 . Change all sliding doors to HM frames with HM door w/ full lite with 18" sidelight	(\$512,547)
13 . Reduce exterior glazing by 35% and replace with cement plaster	(\$366,440)
14 . Eliminate coiling security door	(\$52,736)
15 . Eliminate sound masking. Need to confirm no other acoustical changes needed to remove	(\$149,053)
16 . Remove 50% of the suspended wood ceilings coverage	(\$323,888)
17 . Allow LVT in circulation spaces only with waiting areas to be carpeted. Assume 25% of LVT is chang	ed to carpet (\$36,796)
18 . Remove allowance for wayfinding using various colors for carpeting. Allow 3 colors total	(\$40,433)
19. Remove wall protection allowance (additional wall covering on gypsum)	(\$19,500)
20 . Paint gypsum walls to 11' max in rooms with ceilings	(\$82,212)
21 . Remove dry erase wall painting allowance	(\$13,000)
22 . Remove Learning Skill Lab, Folding partition w/ door, 28'	(\$55,510)
23 . Remove Study Room, Markerboard folding partition, 12'	(\$25,870)
24 . Remove backlighting from exterior signage	(\$34,640)
25 . Reduce shade coverage on exterior windows from 100% to 50% and eliminate motorized shade allow	vance (\$134,507)
26 . Remove windows coverings at all interior glazing	(\$11,120)
27 . Remove irrigation and planter allowance from roof deck	(\$120,793)
28 . Remove allowance for fiberglass insulation for roof drains	(\$84,500)
29 . Remove dedicated library package AC unit	(\$175,500)
30 . Revise zoning; remove averaging thermostats, convert 14 reheat to cooling only, combine 4 reheat zo cooling only zones	ones, combine 3 (\$161,200)
31 . Serve data rooms with transfer fans instead of split systems	(\$65,000)
32 . Use LG heat pumps vs Multistack	(\$213,200)
33 . HVAC system to provide only 1 primary pump and 1 secondary pump vs 2 of each for pumping redun	dancy (\$27,300)
34 . Remove diesel powered emergency generator	(\$63,501)
35 . Reduce data from floor boxes and provide power only	(\$130,000)
36 . Reduce number of floor boxes, \$2,000 per box (currently 105)	TBD
37 . Reduce number of data drops, \$700 per drop (currently around 1,000)	TBD
38 . Reduce number of monitors to reduce AV infrastructure, \$1,250 per monitor (device savings for owne	r as well) TBD
39 . Reduce program / building SF to achieve budget (estimated at \$600 / SF savings)	5,213 SF (\$3,127,535)

# **Construction Cost Summary by Division**

CSI Division		Total	Cost / SF
01 General Requirements		\$923,125	\$18.61
02 Existing Conditions		\$111,653	\$2.25
03 Concrete		\$3,557,032	\$71.71
04 Masonry		\$364,858	\$7.36
05 Metals		\$4,221,736	\$85.11
06 Wood, Plastics, & Composites		\$985,914	\$19.88
07 Thermal & Moisture Protection		\$3,576,434	\$72.10
08 Openings		\$2,920,463	\$58.87
09 Finishes		\$6,596,492	\$132.98
10 Specialties		\$645,734	\$13.02
11 Equipment		\$181,873	\$3.67
12 Furnishings		\$216,797	\$4.37
13 Special Construction			
14 Conveying Equipment		\$190,000	\$3.83
21 Fire Suppression		\$360,475	\$7.27
22 Plumbing		\$1,431,361	\$28.86
23 Heating, Ventilating, & Air-Conditi	oning	\$4,397,644	\$88.65
25 Integrated Automation	•		
26 Electrical		\$7,563,635	\$152.48
27 Communications			
28 Electronic Safety & Security			
31 Earthwork		\$596,414	\$12.02
32 Exterior Improvements		\$1,014,700	\$20.46
33 Utilities		\$482,508	\$9.73
Design Contingency	7.00%	\$2,823,719	\$56.92
Escalation	3.00%	\$1,294,877	\$26.10
DSA Contingency	3.00%	\$1,333,723	\$26.89
A&E CA Fees	Lump Sum	\$721,458	\$14.54
Subtotal- Direct Cost of Construct	tion	\$46,512,625	\$937.66
1. Preconstruction / A&E Fees	Lump Sum	\$3,458,542	\$69.72
2. General Conditions	8.05%	\$3,744,266	\$75.48
3. GC Overhead & Profit Fee	3.35%	\$1,683,606	\$33.94
4. DBE / Sub Bonds	2.28%	\$1,184,244	\$23.87
5. Construction Contingency	2.70%	\$1,255,841	\$25.32
6. Proposed Shift from Phase 2 to Pha		(\$1,250,000)	(\$25.20)
Total Cost of Design and Co	nstruction	\$56,589,124	\$1,140.79

# **Site Improvements**

## Site Improvements Construction Cost Summary

CSI Division		Total	Coot / SE
		Total	Cost / SF
01 General Requirements		\$286,264	\$2.64
02 Existing Conditions		\$111,653	\$1.03
03 Concrete		\$766,654	\$7.06
04 Masonry		\$15,686	\$0.14
05 Metals		\$152,259	\$1.40
06 Wood, Plastics, & Composites			
07 Thermal & Moisture Protection		\$79,950	\$0.74
08 Openings			
09 Finishes		\$11,572	\$0.11
10 Specialties		\$15,117	\$0.14
11 Equipment			
12 Furnishings		\$36,093	\$0.33
13 Special Construction			
14 Conveying Equipment			
21 Fire Suppression			
22 Plumbing			
23 Heating, Ventilating, & Air-Condit	ioning		
25 Integrated Automation			
26 Electrical		\$1,121,663	\$10.33
27 Communications			
28 Electronic Safety & Security			
31 Earthwork		\$596,414	\$5.49
32 Exterior Improvements		\$921,782	\$8.49
33 Utilities		\$482,508	\$4.44
Design Contingency	7.00%	\$321,833	\$2.96
Escalation	3.00%	\$147,583	\$1.36
DSA Contingency	3.00%	\$152,011	\$1.40
A&E CA Fees	Lump Sum	\$71,458	\$0.66
Subtotal- Direct Cost of Construc	tion	\$5,290,500	\$48.73
		4040 557	<u></u>
1. Preconstruction / A&E Fees	Lump Sum	\$342,557	\$3.16
2. General Conditions	8.05%	\$425,885	\$3.92
3. GC Overhead & Profit Fee	3.35%	\$191,499	\$1.76
4. DBE / Sub Bonds	2.28%	\$134,700	\$1.24
5. Construction Contingency	2.70%	\$142,844	\$1.32
Total Construction Cost		\$6,527,985	\$60.13

# Site Improvements Schedule of Areas & Control Quantities

		(SF)	(SF)
hedule of Areas		Area	Area
Gross Site Area	2.5 Acres	108,570	108,570
Footprint Area- LSRC Building		(27,025)	
Finished Site Area			81,545
Finished Site Area			81,545
PCC paving			17,115
Unit Pavers			1,050
AC Paving			15,435
Fire Access, East Access			3,650
Fire Access, South Road, Gravel			4,780
Planting Area, Hydroseed			15,965
Planting Area, Standard Planting			16,695
Planting Area, Bioswales			6,855
Total			81,545

CSI Division	Quantity	Unit	Unit Cost	Total
1 GENERAL REQUIREMENTS				
(NO SPEC) FIELD ENGINEERING				
Field Engineering				
Survey	108,570	sf	\$0.29	\$31,534
31 25 00 EROSION AND SEDIMENTATION CONTROLS				
Erosion Control				
Erosion control	108,570	sf	\$0.89	\$96,678
(NO SPEC) FINAL CLEANING				
Site Final Cleaning				
Final cleaning of new hardscape finishes	33,600	sf	\$0.24	\$8,092
(NO SPEC) GENERAL TRADEWORK				
General Tradework				
Trade labor, duration of project, Carpenter	865	mhr	\$147.26	\$127,382
Forklift, 10k capacity	5	mo	\$4,515.67	\$22,578
Total - 1 GENERAL REQUIREMENTS				\$286,264
2 EXISTING CONDITIONS				
02 41 19 SELECTIVE DEMOLITION				
31 10 00 SITE CLEARING				
31 11 00 CLEARING AND GRUBBING				
31 12 00 SELECTIVE CLEARING				
Site Demolition, , Per GBI 072723				
Sawcut hardscape paving, up to 4"	700	lf	\$12.97	\$9,07
Sawcut hardscape paving for conforming, up to 4"	440	lf	\$12.97	\$5,70
Remove AC paving, including agg	33,030	sf	\$1.12	\$37,09
Remove AC paving, North lot, including agg	11,225	sf	\$1.12	\$12,60
Remove PCC paving, including agg	2,525	sf	\$1.49	\$3,76
Remove PCC curbs	830	lf	\$5.00	\$4,15
Remove vegetation and gravel, allow 3", allow off haul	61,790	sf	\$0.26	\$16,16
Remove trees	24	ea	\$523.08	\$12,55
Remove signs/posts, bollards	16	ea	\$99.95	\$1,59
Remove utility structure - small Remove utility structure - large	14 7	ea	\$338.40	\$4,73 \$4,20
Nemove unity structure - large	1	ea	\$599.94	\$4,20
HAZARDOUS MATERIAL REMOVAL AND ABATEMENT				
Hazardous Material Removal and Abatement				
Not anticipated				Excluded
Total - 2 EXISTING CONDITIONS				\$111,653

### Total - 2 EXISTING CONDITIONS

#### **3 CONCRETE**

CSI Division	Quantity	Unit	Unit Cost	Total
03 21 00 REINFORCING STEEL				
Rebar				
PCC paving, allow welded wire fabric	17,115	lb	\$2.26	\$38,676
Steps and ramps, allow 2 lb / sf	4,610	lb	\$2.26	\$10,417
Curbs, building skirt, allow 1 lb / lf	255	lb	\$2.26	\$576
Curbs, flush, at ADA ramp	105	lb	\$2.26	\$237
Curbs, vertical up to 8", allow 1.25 lb / lf	1,000	lb	\$2.26	\$2,260
Curbs, vertical up to 12", allow 1.5 lb / lf	60	lb	\$2.26	\$136
Curbs, ramp deepened curbs, allow 2 lb / lf	1,230	lb	\$2.26	\$2,779
CMU Footings, allow 20 lb / lf	1,100	lb	\$2.26	\$2,486
Retaining walls footing and walls, allow 50 lb / cy	17,100	lb	\$2.26	\$38,642
32 13 13 CONCRETE PAVING				
32 13 13.1 CONCRETE WORK (LANDSCAPE)				
32 16 13 CONCRETE CURBS				
32 17 26 TACTILE WARNING SURFACING				
PCC Paving, Curbs, and Gutters				
PCC paving, allow 4" per Geotech report	17,115	sf	\$18.17	\$310,958
PCC paving, premium for topcast finish	17,115	sf	\$1.11	\$19,056
Site CIP Concrete				
Steps, premium to PCC paving	385	sf	\$20.75	\$7,988
Ramp, premium to PCC paving	1,920	sf	\$3.44	\$6,610
Footings, 3' CMU walls, VRC patio	55	lf	\$200.00	\$11,000
Curbs, Stem Walls, and Gutters				
Curbs, building skirt, 1' wide	255	lf	\$30.13	\$7,683
Curbs, flush, at ADA ramp	105	lf	\$35.43	\$3,720
Curbs, vertical up to 8"	800	lf	\$40.73	\$32,588
Curbs, vertical up to 12"	40	lf	\$45.46	\$1,819
Stem wall, ramp deepened curbs, allow 24"	615	lf	\$48.47	\$29,811
Gutters, not anticipated				Excluded
Tactile Warning Surfacing				
ADA truncated texture strip	35	lf	\$109.34	\$3,827
(NO SPEC) CIP RETAINING WALLS				
32 32 16 PRECAST CONC RETAINING WALLS				
32 32 19 UNIT MASONRY RETAINING WALLS				
32 32 23.16 MANUFACTURED MODULAR WALLS				
CIP Retaining Walls				
Footing, concrete placement, allow 4' x 2', earth form	156	су	\$343.85	\$53,487
Formwork, CIP concrete retaining wall	4,430	sf	\$36.82	\$163,093
CIP concrete retaining wall, concrete placement, 8" thick	55	су	\$343.85	\$18,805
Total - 3 CONCRETE				\$766,654

CSI Division	Quantity	Unit	Unit Cost	Total
4 MASONRY				
(NO SPEC) CONCRETE UNIT MASONRY				
Site Masonry	405	-f	<b>\$50.07</b>	¢0.054
CMU wall, Test Proctoring entry, allow 3' high Precast cap	165 75	sf If	\$56.67 \$84.46	\$9,351 \$6,335
Total - 4 MASONRY				\$15,686
5 METALS				
05 50 00 METAL FABRICATIONS				
Site Miscellaneous Metals				
Handrails, at ramps and stairs, galvanized metal	865	lf	\$149.01	\$128,896
Guardrails, at retaining walls as needed, galvanized metal	90	lf	\$259.59	\$23,363
Total - 5 METALS				\$152,259
7 THERMAL & MOISTURE PROTECTION				
07 10 00 BELOW GRADE WATERPROOFING Waterproofing				
Waterproofing backside of retaining walls	2,215	sf	\$31.98	\$70,831
07 92 00 JOINT PROTECTION				
Site Caulking and Sealants				
Joint sealants at site concrete	17,115	sf	\$0.53	\$9,119
Total - 7 THERMAL & MOISTURE PROTECTION				\$79,950
9 FINISHES				
09 91 00 PAINTING				
Site Paint	0.045	. f	<b>*</b> 5 00	¢44 570
Graffiti-resistant coat, 1-side of retaining walls Guardrails/Handrails, assumed as galvanized	2,215	sf	\$5.22	\$11,572 Excluded
Guardrails/ handrails, assumed as galvanized				Excluded
Total - 9 FINISHES				\$11,572
10 SPECIALTIES				
10 75 00 FLAGPOLES				
Flagpole				
Flagpole allowance, inc footing	1	ea	\$15,117.31	\$15,117
Total - 10 SPECIALTIES				\$15,117
				,

CSI Division	Quantity	Unit	Unit Cost	Total
	Quantity	Unit		10(01
12 FURNISHINGS				
12 93 00 SITE FURNISHINGS				
Site Furnishings				
Wall trellis	45	lf	\$535.66	\$24,105
Bike racks	4	ea	\$919.46	\$3,678
Bike lockers	1	ea	\$8,311.05	\$8,311
Bench seating, OFOI				Excluded
Table with seating, OFOI				Excluded
Bike repair station, OFOI				Excluded
Roof deck floor pots, OFOI				Excluded
Total - 12 FURNISHINGS				\$36,093
10tal - 12 1 01(11)51111055				<b>430,035</b>
22 PLUMBING				
33 52 00 SITE GAS DISTRIBUTION				
Site Plumbing				
Site gas piping- not anticipated (assume all new electric)				Excluded
Total - 22 PLUMBING				
26 ELECTRICAL				
ELECTRICAL				
31 23 16.13 TRENCH EXCAVATION AND BACKFILL TO UTILIT	IFS			
Site Electrical, Per GLS 080323				
Site power, 5 kV Transformer				By Others
Site power, N4SB-4A switchboard, 480V 3 Phase	1	ls	\$60,000.00	\$60,000
Site power, MSB 4SB-4B	1	ea	\$75,000.00	\$75,000
Site power, trenching/backfill, allow 3'x3'	140	су	\$180.00	\$25,200
Site power, conduit, 4" & 3.5" LSRC, allow sch 40	1,680	lf	\$75.00	\$126,000
Site power, conduit, 2" LSRC, allow sch 40	420	lf	\$65.00	\$27,300
Site power, conduit, 1.5" LSRC, allow sch 40	840	lf	\$60.00	\$50,400
Site power, conduit, 1" LSRC, allow sch 40	420	lf	\$60.00	\$25,200
Site power, feeders	3,360	lf	\$85.00	\$285,600
Splice and connect to new infrastructure	1	ea	\$10,000.00	\$10,000
Site lighting, conduit & feeders	700	lf	\$50.00	\$35,000
Site lighting, fixture X1, including 14' pole	15	ea	\$10,000.00	\$150,000
Charging station allowance, per note 13 on E2.2	1	ls	\$20,000.00	\$20,000
Demo, trench and patchback of utilities, allowance	420	lf	\$75.00	\$31,500
Site Low Voltage	00		#400 00	<b>#</b> 44 400
Site LV, trenching/backfill, allow 2'x2'	62 420	су	\$180.00	\$11,160 \$21,500
Site LV, (4) 4" CO to LSRC, allow sch 40	420	lf If	\$75.00 \$150.00	\$31,500 \$62,000
Site LV, cabling allowance	420	lf	\$150.00	\$63,000

CSI Division	Quantity	Unit	Unit Cost	Total
TEMPORARY UTILITIES				
Temporary Power Establishment				
Temporary connection for power during construction	1	ls	\$70,000.00	\$70,000
Cords, spider boxes, light strings	49,605	sf	\$0.50	\$24,803
Total - 26 ELECTRICAL				\$1,121,663
31 EARTHWORK				
31 00 00 EARTHWORK				
31 22 00 SITE GRADING				
31 22 13 ROUGH GRADING				
31 22 00 SITE GRADING				
31 22 16 FINE GRADING				
31 23 23 FILL				
Earthwork, Per GBI 072723				
Laydown area preparation	1	ls	\$30,000.00	\$30,000
Rough grading, cut and fill	3,449	су	\$14.65	\$50,529
Import select fill, backfill and compact	1,395	су	\$83.82	\$116,935
Spread onsite footing spoils	605	су	\$14.65	\$8,862
Fine grading, PCC and landscaping	81,545	sf	\$1.08	\$88,112
Building pad over-excavation and recompact, allow 3'	3,310	су	\$13.26	\$43,877
Finish building pad with 5' overbuild	31,675	sf	\$0.52	\$16,584
Excavation at building retaining wall and backfill	617	су	\$113.71	\$70,161
Excavation at site retaining wall and backfill Bioswale rough grading	194 6,855	cy sf	\$113.71 \$4.67	\$22,099 \$32,014
Winterization, geogrid, etc	108,570	sf	\$4.07 \$0.98	\$32,014 \$106,126
Fire Access Road Rough grading, cut 1' for aggregate base	177	01	¢14 65	\$2,593
Stockpile cut to be used as fill	177	су су	\$14.65 \$48.14	\$2,593 \$8,522
Total - 31 EARTHWORK				\$596,414
				ψ <b>000</b> ,+1+
32 EXTERIOR IMPROVEMENTS				
32 11 23 AGGREGATE BASE COURSES				
Aggregate Base, Per GBI 072723				
Aggregate below North conforming AC paving- allow 6"	12,085	sf	\$6.43	\$77,676
Aggregate below South conforming AC paving- allow 6"	3,350	sf	\$6.43	\$21,532
Aggregate base below PCC paving- allow 4"	17,115	sf	\$4.89	\$83,696
Aggregate base below unit pavers- allow 4"	1,050	sf	\$4.89	\$5,135
Aggregate base below curbs, not anticipated				Excluded
Fire Access Road				
Aggregate base Fire Access Road, allow 12" compacted	4,780	sf	\$11.95	\$57,107
Prepared by Tyler Swanson of FLINT			Sł	neet 19 of 41

CSI Division	Quantity	Unit	Unit Cost	Total
32 12 16 ASPHALT PAVING AND STRIPING				
32 12 16.10 ASPHALT PAVING, STRIPING AND SIGNAGE				
32 17 23 PAVEMENT MARKINGS				
AC Paving				
AC paving at North lot, conforming area	12,085	sf	\$6.79	\$82,065
AC paving at South lot, conforming area	3,350	sf	\$6.79	\$22,749
	0,000	01	<i>\\</i> 0.10	<i><b>422</b>,110</i>
Paving Specialties				
Vehicular striping and signage	15,435	sf	\$0.60	\$9,260
32 84 00 PLANTING IRRIGATION				
32 92 00 PLANTING				
32 92 19.16 HYDRAULIC SEEDING				
Landscape Planting and Irrigation				
Bioswales, Sandy loam, 18"	6,855	sf	\$10.61	\$72,733
Bioswales, planting, non-irrigated	6,855	sf	\$3.23	\$22,137
Soil preparation and amendments	32,660	sf	\$1.00	\$32,651
Irrigation, shrub and turf	32,660	sf	\$3.92	\$128,061
Trees, 36" box size	22	ea	\$1,517.55	\$33,386
Shrubs allowance	16,695	sf	\$3.38	\$56,496
Hydroseed	15,965	sf	\$0.49	\$7,857
Mulch to shrub area	16,695	sf	\$1.08	\$17,982
Jute netting	8,195	sf	\$0.69	\$5,671
Landscape maintenance, 90-days	1	ls	\$14,923.81	\$14,924
Import topsoil, not anticipated				Excluded
32 30 00 SITE IMPROVEMENTS				
32 31 13 CHAIN LINK FENCES AND GATES				
10 41 00 EMERGENCY ACCESS AND INFORMATION CABIN	ETS (KNOX B	OXES)		
Fencing and Gates				
Chain link fencing, galv, 6' tall, around electrical utility pad	75	lf	\$79.20	\$5,940
Chain link fencing, galv, 3' tall, around VRC wall	55	lf	\$67.68	\$3,722
Chain link gate, galv, 6' tall, 4' wide, at electrical utility pad	1	ea	\$2,844.95	\$2,845
Chain link gate, galv, 6' tall, 4' wide, at VRC patio /w panic	1	ea	\$3,613.58	\$3,614
(NO SPEC) UNIT PAVING				
Unit Paving				
Precast concrete unit pavers, interlocking	1,050	sf	\$35.38	\$37,146
Sand bedding, 1"	1,050	sf	\$2.46	\$2,584
Fire Egress Road				
Fire egress road, allow EasyPave with gravel grid	3,650	sf	\$31.46	\$114,813
Total - 32 EXTERIOR IMPROVEMENTS				\$921,782
				+

#### **33 UTILITIES**

CSI Division	Quantity	Unit	Unit Cost	Total
	160			
31 23 16.13 TRENCH EXCAVATION AND BACKFILL TO UTILIT	IE9			
33 05 00 COMMON WORK RESULTS FOR UTILITIES				
33 11 00 WATER UTILITIES 33 31 00 SANITARY SEWERAGE PIPING				
33 31 00 SANTIARY SEWERAGE PIPING 33 40 00 STORMWATER UTILITIES				
33 40 00 STORMWATER UTILITIES 33 41 00 SUBSURFACE DRAINAGE				
33 41 00 SUBSURFACE DRAINAGE				
Utility Coordination				
Potholing / utility locating	108,570	sf	\$0.10	\$11,338
BIM UG coordination	108,570	sí	\$0.10	\$11,336 \$30,486
UG piping/structures, demo and perm. Patching outside limits	110	lf	\$105.00	\$30,480 \$11,550
Domestic Water				
Domestic water, 6" pipe, allow PVC	55	lf	\$112.98	\$6,214
Domestic water, o pipe, allow PVC	1	ea	\$12,220.01	\$0,214 \$12,220
Domestic water, SOV in box	1		\$4,188.44	\$4,188
Domestic water, connect to existing system	1	ea ea	\$4,188.44 \$2,266.88	\$4,100 \$2,267
Domestic water, water meter	1	ea	\$9,857.33	\$9,857
Irrigation Water				
Irrigation water, allow 2" pipe, allow PVC	40	lf	\$85.76	\$3,431
Irrigation water, backflow preventer	1	ea	\$9,145.51	\$9,146
Irrigation water, water meter	1	ea	\$6,321.66	\$6,322
Fire Water				
Fire water, to LSRC, 6" pipe, allow PVC	185	lf	\$112.98	\$20,902
Fire water, hydrant	1	ea	\$7,998.15	\$7,998
Fire water, backflow preventer, PIV, & FDC	1	ea	\$17,600.39	\$17,600
Fire water, SOV in box	1	ea	\$4,188.44	\$4,188
Fire water, connect to existing system	4	ea	\$2,266.88	\$9,068
Sanitary Sewer				
Sanitary sewer, 6" piping, allow PVC	30	lf	\$112.98	\$3,390
Sanitary sewer, connect to existing system, w/ CO	1	ea	\$2,266.88	\$2,267
Camera/flush downstream system	1	ls	\$9,412.85	\$9,413
Storm Drainage				
Storm drainage, 6" piping, allow PVC	471	lf	\$112.98	\$53,216
Storm drainage, 8" piping, allow PVC	217	lf	\$114.91	\$24,935
Storm drainage, area drain in landscaping	5	ea	\$754.14	\$3,771
Storm drainage, area drain in pavement	1	ea	\$1,354.56	\$1,355
Storm drainage, basin bubbler	3	ea	\$1,863.63	\$5,591
Storm drainage, junction box in pavement	2	ea	\$2,958.64	\$5,917
Storm drainage, overflow drain riser	4	ea	\$2,958.64	\$11,835
Storm drainage, manhole	1	ea	\$8,684.34	\$8,684
Storm drainage, not yet designed	108,570	sf	\$1.17	\$127,230
Storm drainage, connect to existing system	4	ea	\$2,266.88	\$9,068
Storm drainage, retaining wall drainage	525	lf	\$93.45	\$49,061

#### 10/06/23

CSI Division	Quantity	Unit	Unit Cost	Total
Storm drainage, outfall structure				w/ Inc 0
Total - 33 UTILITIES				\$482,508

# LSRC Building

# LSRC Building Construction Cost Summary

CSI Division		Total	Cost / SF
01 General Requirements		\$636,861	\$12.84
02 Existing Conditions			
03 Concrete		\$2,790,378	\$56.25
04 Masonry		\$349,172	\$7.04
05 Metals		\$4,069,477	\$82.04
06 Wood, Plastics, & Composites		\$985,914	\$19.88
07 Thermal & Moisture Protection		\$3,496,484	\$70.49
08 Openings		\$2,920,463	\$58.87
09 Finishes		\$6,584,920	\$132.75
10 Specialties		\$630,617	\$12.71
11 Equipment		\$181,873	\$3.67
12 Furnishings		\$180,704	\$3.64
13 Special Construction			
14 Conveying Equipment		\$190,000	\$3.83
21 Fire Suppression		\$360,475	\$7.27
22 Plumbing		\$1,431,361	\$28.86
23 Heating, Ventilating, & Air-Conditi	oning	\$4,397,644	\$88.65
25 Integrated Automation			
26 Electrical		\$6,441,972	\$129.87
27 Communications			
28 Electronic Safety & Security			
31 Earthwork			
32 Exterior Improvements		\$92,918	\$1.87
33 Utilities			
Design Contingency	7.00%	\$2,501,886	\$50.44
Escalation	3.00%	\$1,147,294	\$23.13
DSA Contingency	3.00%	\$1,181,712	\$23.82
A&E CA Fees	Lump Sum	\$650,000	\$13.10
	·	,	
Subtotal- Direct Cost of Construct	ion	\$41,222,125	\$831.01
1. Preconstruction / A&E Fees	Lump Sum	\$3,115,985	\$62.82
2. General Conditions	8.05%	\$3,318,381	\$66.90
3. GC Overhead & Profit Fee	3.35%	\$1,492,107	\$30.08
4. DBE / Sub Bonds	2.28%	\$1,049,544	\$21.16
5. Construction Contingency	2.70%	\$1,112,997	\$22.44
Total Construction Cost		\$51,311,139	\$1,034.39

### LSRC Building Schedule of Areas & Control Quantities

Schedule of Areas		(SF) Area		(SF) Area
Enclosed Areas				
Level One Level Two		27,025 22,580		
Subtotal, Enclosed Areas				49,605
Unenclosed Areas				
Roof Overhangs, Soffits, and Canopies		2,815		
Subtotal, Unenclosed Areas		2,815		
Total Gross Floor Area				49,605
Control Quantities	C	Quantity	Unit	Ratio to Gross Area
Number of Stories Gross Area Enclosed Area Unenclosed Area Footprint Area Footprint Perimeter Level Two Perimeter Gross Wall Area Retaining Wall Area Finished Wall Area Exterior Glazing 24 Roof Area - Rooftop Deck	۴%	2 49,605 2,815 27,025 930 845 28,860 2,380 26,480 6,857 3,585	ea sf sf sf lf sf sf sf sf sf	0.040 1.000 0.057 0.545 0.034 0.037 0.582 0.048 0.534 0.138 0.072

#### 10/06/23

CSI Division	Quantity	Unit	Unit Cost	Total
1 GENERAL REQUIREMENTS				
FINAL CLEANING				
Final Cleaning				
Final cleaning	49,605	sf	\$0.94	\$46,559
TEMPORARY SCAFFOLDING AND PLATFORMS				
Temporary Material Access				
Stair towers, per level	2	ea	\$10,000.00	\$20,000
GENERAL TRADEWORK				
General Tradework				
Trade labor, duration of project, Carpenter	2,768	mhr	\$147.26	\$407,623
VDC/BIM Manager, 4 month duration	693	mhr	\$130.43	\$90,428
Forklift, 10k capacity	16	mo	\$4,515.67	\$72,251
Total - 1 GENERAL REQUIREMENTS				\$636,861
3 CONCRETE				
03 21 00 REINFORCING STEEL				
Rebar				
Rebar, footings	93,510	lb	\$2.26	\$211,309
Rebar, SOG, curbs, elevator pit	28,311	lb	\$2.26	\$63,976
Rebar, topping slabs	27,096	lb	\$2.26	\$61,230
Rebar, retaining walls	7,052	lb	\$2.26	\$15,935
03 30 00 CAST-IN-PLACE CONCRETE				
03 35 00 CONCRETE FINISHING				
07 26 16 BELOW-GRADE VAPOR RETARDERS				
CIP Foundations				
Layout and excavation, earth formed	780	су	\$323.78	\$252,548
Fabric and 2" slurry fill at footings	27,025	sf	\$2.63	\$70,980
Concrete, including placement	940	су	\$326.07	\$306,504
Layout and set anchor bolts, allow 2' OC	465	ea	\$250.90	\$116,668
Backfill at footings Stockpile spoils for fill	195 605	су су	\$148.62 \$99.14	\$28,981 \$59,980
CIP Slab on Grade				
Formwork, SOG	930	sf	\$45.49	\$42,307
	1,365	sf	\$45.49	\$62,096
Formwork curbs	1,000			\$17,287
Formwork, curbs Formwork, elevator pit	380	ST		
Formwork, elevator pit	380 1 522	sf sf	\$45.49 \$37.25	
	380 1,522 4,197	sf sf	\$45.49 \$37.25 \$10.72	\$56,687 \$44,995

CSI Division	Quantity	Unit	Unit Cost	Total
Gravel sub base, allow 4"	334	<u></u>	¢202.49	¢07.019
Concrete, SOG	541	cy cy	\$293.48 \$284.83	\$97,918 \$154,096
Concrete, curbs	20	•	\$284.83	\$5,760
Concrete, elevator pit	5	cy	\$284.83	\$1,424
Place and finish concrete, including control joints	566	cy cy	\$279.96	\$158,517
Slab wet cure	27,025	sf	\$2.07	\$55,838
Curecrete application, not anticipated	21,020	51	φ2.07	Excluded
Grout Columns / BF's at Block-Outs	1,522	sf	\$45.49	\$69,239
Sack and patch at stripped formwork	4,197	sf	\$11.50	\$48,278
Elevated SOG at DIAS, none per JKAE	4,107	51	ψ11.00	Excluded
CIP Topping Slabs				
Topping slab at level 2, 3.5" lightweight	523	су	\$284.83	\$148,879
Topping slab at roof deck, 3.5" lightweight	83	cy	\$284.83	\$23,637
Topping slab at main roof, concrete pad at MEP unit	16	cy	\$284.83	\$4,615
Concrete, infill at stairs	18	су	\$284.83	\$5,060
Place and finish topping slabs, stairs inc control joints	640	су	\$279.96	\$179,07 <sup>2</sup>
Curbs, 6", at wet walls	310	lf	\$60.00	\$18,600
CIP Retaining Walls				
Formwork, building retaining walls	4,760	sf	\$63.46	\$302,091
Concrete, retaining walls	71	су	\$284.83	\$20,086
Place and finish concrete, including control joints	71	су	\$245.01	\$17,278
Board form concrete, not anticipated				Exclude
Total - 3 CONCRETE				\$2,790,378
4 MASONRY				
04 43 13.16 ADHERED STONE MASONRY VENEER				
Stone Veneer, per NCTS 072123				
Stone Veneer, KO Natural Stone	3,288	sf	\$84.46	\$277,665
Trim stone at window/door returns	530	lf	\$111.31	\$58,996
Metal trim allowance at non-returns	280	lf	\$44.68	\$12,511
Total - 4 MASONRY				\$349,172
5 METALS				
05 12 00 STRUCTURAL STEEL				
Structural Steel Framing, Tonnage per Miyamoto 091523	64	tn	¢6 110 07	¢202.001
Steel columns, gravity	61 52	tn tn	\$6,442.37 \$6,442.37	\$392,985
Steel columns, brace frames	53	tn tn	\$6,442.37 \$6,442.37	\$341,446
Steel beams, building	202	tn	\$6,442.37	\$1,301,359

SI Division	Quantity	Unit	Unit Cost	Tota
Steel beams, at eyebrows	3	tn	\$6,442.37	\$19,32
Secondary steel allowance, 15%	47	tn	\$6,442.37	\$305,36
Steel plates and connections, per beam member	332	ea	\$304.28	\$101,02
05 50 00 METAL FABRICATIONS				
05 51 33 ALUMINUM LADDERS				
05 52 00 METAL RAILINGS				
05 55 16 METAL STAIR NOSINGS				
Building Miscellaneous Metals				
Miscellaneous metals- allow 10%	37	tn	\$6,442.37	\$236,0
Stairs, interior w/ landing	1	flt	\$154,122.97	\$154,1
Stairs, exterior w/ landing	1	flt	\$25,539.97	\$25,5
Stairs, exterior w/ landing, w/ angled staircase	1	flt	\$28,179.25	\$28,1
Railings, interior including stairs, stainless steel	188	lf	\$759.20	\$142,7
Railings, exterior including stairs, stainless steel	294	lf	\$759.20	\$223,2
Roof access ladders	1	ea	\$7,536.24	\$7,5
Roof tie-back supports, not anticipated per JKAE			·	Exclud
Mechanical screening, not anticipated				Exclud
05 30 00 METAL DECKING				
Metal Decking				
Metal decking at Level 2, W3 metal deck, 3"	22,580	sf	\$14.19	\$320,3
Metal decking at Roof deck, W3 metal deck, 3"	3,585	sf	\$14.19	\$50,8
Metal decking at roof, 18ga Type B, 1.5"	25,520	sf	\$12.65	\$322,8
Metal decking at metal canopies, 18ga Type B, 1.5"	500	sf	\$12.65	\$6,3
Premium for acoustical decking, none shown				Exclud
Deck openings, allow 1 per 2,000 sf	25	ea	\$546.69	\$13,5
Deck closure plates	845	lf	\$35.31	\$29,8
05 58 13 METAL COLUMN COVERS				
Metal Column Covers				
Exterior column covers	4	ea	\$11,704.55	\$46,8
otal - 5 METALS			9	\$4,069,47
WOODS, PLASTICS, & COMPOSITES				
(NO SPEC) ROUGH CARPENTRY				
Rough Carpentry				
Fire treated plywood at elec/data rooms	1,704	sf	\$15.53	\$26,4
06 41 00 ARCHITECTURAL WOOD CASEWORK				
06 61 16 SOLID SURFACING FABRICATIONS				
Millwork, including SS Tops for Base, FOB	1,286	lf		
Admin Reception, Base, 2' wide	10	lf	\$430.73	\$4,30
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CSI Division	Quantity	Unit	Unit Cost	Total
			• • • • •	
Admin Reception, Base, 3' wide	9	lf	\$521.04	\$4,689
Admission & Records, Base, 2' wide	11	lf	\$430.73	\$4,738
Admissions & Records, Upper	11	lf	\$138.94	\$1,528
Adult Changing Restroom, Countertop, 2' wide	5	lf	\$319.57	\$1,598
AEC Reception, Base, 2.5' wide	19	lf	\$479.36	\$9,108
AEC Reception, Countertop, 1.5' wide	8	lf	\$277.89	\$2,223
All Gender Restroom, Countertop, 2' wide	30	lf	\$319.57	\$9,587
Archive Reserves, Open Casework , 1' wide	24	lf	\$243.15	\$5,836
Archive Reserves, Open Casework , 2' wide	8	lf	\$312.62	\$2,501
Boardroom DAIS, Countertop, 1.5' wide	10	lf	\$277.89	\$2,779
Boardroom DAIS, Countertop, 4' wide, semi-curved	25	lf	\$1,389.44	\$34,736
Boardroom DAIS, Structure and Finish	140	sf	\$212.58	\$29,761
Break Area + Shared, Base, 1.5' wide	13	lf	\$382.10	\$4,967
Break Area + Shared, Base, 2' wide	14	lf	\$430.73	\$6,030
Break Area + Shared, Upper	18	lf	\$138.94	\$2,501
Circulation Desk, Base, 2.5' wide, curved	29	lf	\$868.40	\$25,184
Circulation Desk, Countertop, 1.5' wide	21	lf	\$277.89	\$5,836
Circulation, Base, 2' wide	8	lf	\$430.73	\$3,446
Circulation, Upper	8	lf	\$138.94	\$1,112
Classroom, Built-In Furniture, 3' wide	13	lf	\$659.98	\$8,580
Counseling Reception, Countertop, 1.5' wide	20	lf	\$277.89	\$5,558
Counseling Reception, Countertop, 2' wide	20	lf	\$319.57	\$6,391
Counseling Suite, Base, 2' wide	46	lf	\$430.73	\$19,813
Counseling Suite, Upper	46	lf	\$138.94	\$6,391
EOPS Lab, Full-Height , 2' wide	15	lf	\$451.57	\$6,774
EOPS Reception, Countertop, 1.5' wide	8	lf	\$277.89	\$2,223
EOPS Reception, Base, 2.5' wide	17	lf	\$479.36	\$8,149
Financial Aid, Base, 1.5' wide	16	lf	\$382.10	\$6,114
Financial Aid, Base, 2' wide	11	lf	\$430.73	\$4,738
Financial Aid, Upper	11	lf	\$138.94	\$1,528
Lactation, Countertop, 2' wide	8	lf	\$430.73	\$3,446
Lactation, Full Height Cabinet, 1' wide	3	lf	\$382.10	\$1,146
Learning Commons Reception, Base, 2.5' wide , curved	17	lf	\$868.40	\$14,763
Learning Commons Reception, Base, 2' wide	6	lf	\$430.73	\$2,584
Learning Commons Reception, Countertop, 1' wide , curved	20	lf	\$312.62	\$6,252
Library Display, Specialty , 1' wide	11	lf	\$1,146.29	\$12,609
Library Display, Specialty , 2' wide	12	lf	\$1,354.70	\$16,256
Library, Base, 2' wide	26	lf	\$430.73	\$11,199
Records, Files, Storage, Vault, Open Casework , 1' wide	51	lf	\$312.62	\$15,944
Restroom, Countertop, 2' wide	9	lf	\$319.57	\$2,876
Staff Break Room, Base, 2' wide	47	lf	\$430.73	\$20,244
Staff Break Room, Upper	37	lf	\$138.94	\$5,141
Staff Print Room, Base, 2' wide	11	lf	\$430.73	\$4,738
Staff Print Room, Upper	20	lf	\$138.94	\$2,779
Storage, Base, 2' wide	18	lf	\$430.73	\$7,753

## LSRC Building Detail Elements

Division	Quantity	Unit	Unit Cost	Tota
Storage, Upper	18	lf	\$138.94	\$2,50
Tech Services Workroom, Base, 2' wide	21	lf	\$430.73	\$9,04
Tech Services Workroom, Upper	24	lf	\$138.94	\$3,3
Tech Services, Storage, Reserves, Open Casework , 1' wide	94	lf	\$312.62	\$29,38
Veterans Resource Center, Base, 2' wide	8	lf	\$430.73	\$3,4
Veterans Resource Center, Upper	8	lf	\$138.94	\$1,1
Waiting Area, Base, 2' wide	11	lf	\$430.73	\$4,7
Waiting Area, Upper	11	lf	\$138.94	\$1,5
Welcome Center Reception, Base, 2.5' wide , curved	29	lf	\$868.40	\$25,1
Welcome Center Reception, Countertop, 1.5' wide, curved	21	lf	\$659.98	\$13,8
Welcome Center, Base, 2' wide	26	lf	\$430.73	\$11,1
Welcome Center, Island	75	sf	\$312.62	\$23,4
Wood dividers, Counseling, allow 6' high	186	sf	\$99.34	\$18,4
Lockable drawers / cabinets allowance	1	ls	\$25,000.00	\$25,0
Millwork Installation				
Miscellaneous millwork, base and uppers	1,001	lf	\$294.53	\$294,8
Miscellaneous millwork, reception desks, DAIS	285	lf	\$441.79	\$125,9
	200	••	<b>v</b> · · · · · <b>v</b>	<i> </i>
al - 6 WOODS, PLASTICS, & COMPOSITES				\$985,91
al - 6 WOODS, PLASTICS, & COMPOSITES HERMAL & MOISTURE PROTECTION 07 10 00 BELOW GRADE WATERPROOFING				\$985,91
HERMAL & MOISTURE PROTECTION 07 10 00 BELOW GRADE WATERPROOFING Waterproofing				
HERMAL & MOISTURE PROTECTION 07 10 00 BELOW GRADE WATERPROOFING Waterproofing Waterproofing at walls below grade	2,380	sf	\$31.98	\$76,1
HERMAL & MOISTURE PROTECTION 07 10 00 BELOW GRADE WATERPROOFING Waterproofing	2,380 224	sf sf	\$31.98 \$34.75	\$76,1
HERMAL & MOISTURE PROTECTION 07 10 00 BELOW GRADE WATERPROOFING Waterproofing Waterproofing at walls below grade				\$76,1
HERMAL & MOISTURE PROTECTION 7 10 00 BELOW GRADE WATERPROOFING Waterproofing Waterproofing at walls below grade Waterproofing at elevator pit(s)				\$76,1
HERMAL & MOISTURE PROTECTION 7 10 00 BELOW GRADE WATERPROOFING Waterproofing Waterproofing at walls below grade Waterproofing at elevator pit(s) 7 21 10 THERMAL AND ACOUSTICAL INSULATION				\$76,1 \$7,7
HERMAL & MOISTURE PROTECTION 7 10 00 BELOW GRADE WATERPROOFING Waterproofing Waterproofing at walls below grade Waterproofing at elevator pit(s) 7 21 10 THERMAL AND ACOUSTICAL INSULATION Rigid Insulation	224	sf	\$34.75	\$76,1 \$7,7 \$134,8
HERMAL & MOISTURE PROTECTION 7 10 00 BELOW GRADE WATERPROOFING Waterproofing Waterproofing at walls below grade Waterproofing at elevator pit(s) 7 21 10 THERMAL AND ACOUSTICAL INSULATION Rigid Insulation Exterior wall, rigid insulation, allow 1"	224 26,480	sf sf	\$34.75 \$5.09	\$76,1 \$7,7 \$134,8
HERMAL & MOISTURE PROTECTION 7 10 00 BELOW GRADE WATERPROOFING Waterproofing Waterproofing at walls below grade Waterproofing at elevator pit(s) 7 21 10 THERMAL AND ACOUSTICAL INSULATION Rigid Insulation Exterior wall, rigid insulation, allow 1" Exterior soffit, rigid insulation, allow 1"	224 26,480 2,385	sf sf	\$34.75 \$5.09 \$5.46	\$76,1 \$7,7 \$134,8 \$13,0
HERMAL & MOISTURE PROTECTION 7 10 00 BELOW GRADE WATERPROOFING Waterproofing Waterproofing at walls below grade Waterproofing at elevator pit(s) 7 21 10 THERMAL AND ACOUSTICAL INSULATION Rigid Insulation Exterior wall, rigid insulation, allow 1" Exterior soffit, rigid insulation, allow 1" Insulation	224 26,480 2,385 26,480	sf sf sf	\$34.75 \$5.09 \$5.46 \$2.21	\$76,1 \$7,7 \$134,8 \$13,0 \$58,5
HERMAL & MOISTURE PROTECTION 7 10 00 BELOW GRADE WATERPROOFING Waterproofing Waterproofing at walls below grade Waterproofing at elevator pit(s) 7 21 10 THERMAL AND ACOUSTICAL INSULATION Rigid Insulation Exterior wall, rigid insulation, allow 1" Exterior soffit, rigid insulation, allow 1" Insulation Exterior wall insulation- R19 Interior wall insulation- thermal	224 26,480 2,385	sf sf sf	\$34.75 \$5.09 \$5.46	\$76,1 \$7,7 \$134,8 \$13,0 \$58,5 \$97,1
<ul> <li>HERMAL &amp; MOISTURE PROTECTION</li> <li>7 10 00 BELOW GRADE WATERPROOFING</li> <li>Waterproofing</li> <li>Waterproofing at walls below grade</li> <li>Waterproofing at elevator pit(s)</li> <li>7 21 10 THERMAL AND ACOUSTICAL INSULATION</li> <li>Rigid Insulation</li> <li>Exterior wall, rigid insulation, allow 1"</li> <li>Exterior soffit, rigid insulation, allow 1"</li> <li>Insulation</li> <li>Exterior wall insulation- R19</li> </ul>	224 26,480 2,385 26,480	sf sf sf	\$34.75 \$5.09 \$5.46 \$2.21	\$76,1 \$7,7 \$134,8 \$13,0 \$58,5 \$97,1 Exclud
HERMAL & MOISTURE PROTECTION 7 10 00 BELOW GRADE WATERPROOFING Waterproofing Waterproofing at walls below grade Waterproofing at elevator pit(s) 7 21 10 THERMAL AND ACOUSTICAL INSULATION Rigid Insulation Exterior wall, rigid insulation, allow 1" Exterior soffit, rigid insulation, allow 1" Insulation Exterior wall insulation- R19 Interior wall insulation- thermal Interior ceiling, R19 underside of roof at enclosed areas	224 26,480 2,385 26,480 58,030	sf sf sf sf	\$34.75 \$5.09 \$5.46 \$2.21	\$76,1 \$7,7 \$134,8 \$13,0 \$58,5 \$97,1 Exclud
<ul> <li>HERMAL &amp; MOISTURE PROTECTION</li> <li>7 10 00 BELOW GRADE WATERPROOFING</li> <li>Waterproofing</li> <li>Waterproofing at walls below grade Waterproofing at elevator pit(s)</li> <li>7 21 10 THERMAL AND ACOUSTICAL INSULATION</li> <li>Rigid Insulation</li> <li>Exterior wall, rigid insulation, allow 1" Exterior wall, rigid insulation, allow 1" Exterior soffit, rigid insulation, allow 1"</li> <li>Insulation</li> <li>Exterior wall insulation- R19 Interior wall insulation- thermal Interior ceiling, R19 underside of roof at enclosed areas Exterior soffits, full fill per spec, not anticipated</li> <li>7 27 26 FLUID-APPLIED MEMBRANE AIR BARRIERS, VAP</li> </ul>	224 26,480 2,385 26,480 58,030	sf sf sf sf	\$34.75 \$5.09 \$5.46 \$2.21	\$985,91 \$76,1 \$77,7 \$134,8 \$13,0 \$58,5 \$97,1 Exclud Exclud Exclud

#### 07 42 13 FORMED METAL WALL PANELS

CSI Division	Quantity	Unit	Unit Cost	Total
Metal Wall Panels		-	<b>*-- - -</b>	
Metal Panel, AEP Span Flex	9,880	sf	\$52.32	\$516,971
Metal Panel, AEP Span Flex, open canopy walls/soffit	815	sf	\$61.16	\$49,846
Metal Panel, AEP Span Flush	1,315	sf	\$68.14	\$89,604
07 46 46 FIBER CEMENT SIDING				
Fiber Cement Siding				
Fiber Cement, walls	5,800	sf	\$52.53	\$304,639
Fiber Cement, soffits	2,385	sf	\$58.42	\$139,321
07 22 00 ROOF AND DECK INSULATION				
07 54 16 KETONE ETHYLENE ESTER (KEE) Roofing				
Membrane Roofing				
Single ply roofing, main roof, 60 mil, mech attach, 1/4" cover	25,520	sf	\$17.75	\$453,010
Single ply roofing, parapets, average 24" high	1,680	sf	\$20.23	\$33,985
Single ply roofing, metal canopies, 60 mil	500	sf	\$20.23	\$10,114
Single ply, premium for 80 mil	27,700	sf	\$3.46	\$95,809
Single ply, premium for KEE	27,700	sf	\$2.31	\$63,873
Single ply, premium for cricketing due to thickness	25,520	sf	\$4.40	\$112,181
Single ply, premium for 1/2" substrate and coverboard	25,520	sf	\$0.77	\$19,615
Walking pads allowance	330	lf	\$50.82	\$16,771
07 13 26 SELF-ADHERING SHEET WATERPROOFING				
07 76 00 HYBRID PEDESTAL SYSTEM				
Roof Deck Membrane Roofing				
GCP, Ice and Water Shield	3,585	sf	\$19.29	\$69,149
Roof curb allowance for separation	82	lf	\$35.45	\$2,907
Rock ballast, allow river rock 2" thick	16	су	\$417.20	\$6,675
Pedestal Paver System				
Pedestal pavers on rooftop deck	1,850	sf	\$74.10	\$137,094
07 62 00 SHEET METAL FLASHING AND TRIM				
07 92 00 SHEET METAL PLASHING AND TRIM				
Flashings and Sheetmetal, Galvanized				
Window, head, jamb, sill	3,756	If	\$65.74	\$246,911
-	23	lf If	\$65.74 \$65.74	\$240,911 \$1,512
Door, head, jamb, pan		lf If		
Roof reglet / counterflashing at parapet walls	840	lf If	\$65.74 \$65.74	\$55,220 \$57,840
Transition flashing at different materials	880	lf If	\$65.74 \$64.20	\$57,849 \$20,162
Base weep flashing	610	lf If	\$64.20	\$39,162
Edge of deck coping	170	lf If	\$62.87	\$10,688 \$60,787
Parapet cap flashing, including cleats	840	lf of	\$83.08	\$69,787
Exterior wall, z-girts, allow 1"	26,480	sf	\$5.44 \$5.60	\$143,945 \$12,404
Exterior soffit, z-girts, allow 1"	2,385	sf	\$5.62	\$13,404

CSI Division	Quantity	Unit	Unit Cost	Total
	<b>_</b>			
Expansion Control				
Seismic joint covers	38	lf	\$212.13	\$8,061
07 72 00 ROOF ACCESSORIES				
Roof Accessories				
Roof Access Hatch & Safety Posts, F&I	1	ea	\$7,302.60	\$7,303
(NO SPEC) FIREPROOFING				
Fireproofing				
Fireproofing underside of deck, cementitious	155	sf	\$10.08	\$1,563
Fireproofing of structure, cementitious	448	sf	\$10.08	\$4,518
(NO SPEC) FIRESTOPPING				
Firestopping				
Firestopping allowance	49,605	sf	\$0.51	\$25,287
07 92 00 JOINT PROTECTION				
Joint Sealants				
Exterior joint sealants, flashing locations	7,119	lf	\$4.06	\$28,925
Interior joint sealants, millwork, doors, glazing	25,525	sf	\$2.03	\$51,901
Total - 7 THERMAL & MOISTURE PROTECTION				\$3,496,484
8 OPENINGS				
08 11 13 HOLLOW METAL DOORS AND FRAMES				
08 14 00 WOOD DOORS 08 71 00 DOOR HARDWARE				
Doors, Frames, and Hardware, FOB				
Exterior, HM Doors, frames, and hardware	3	ea	\$2,767.05	\$8,301
Interior, HM Doors, frames, and hardware	25	ea	\$2,767.05	\$69,176
Fire rated door premium	4	ea	\$1,152.94	\$4,612
Oversized door premium	1	ea	\$1,537.25	\$1,537
Magnetic hold open premium, per leaf	5	ea	\$3,900.40	\$19,502
Premium for acoustical enhancements	28	ea	\$350.00	\$9,800
Premium for STC rated doors, not anticipated			<i><b>Q</b></i> <b>QQQQQQQQQQQQQ</b>	Excluded
Doors, Frames, and Hardware, Install				
Doors, frames, and hardware cost / sf, Install	28	ea	\$1,472.63	\$41,234
08 31 13 ACCESS DOORS AND FRAMES				
Access panels				
Access panels, allow 4 per level	8	ea	\$648.83	\$5,191
OVERHEAD DOORS				

CSI Division	Quantity	Unit	Unit Cost	Total
Overhead Doors				
Learning Commons, coiling security, 25'	1	ea	\$30,774.25	\$30,774
Learning Commons, coiling security, motor premium	1	ea	\$5,919.88	\$5,920
Learning Commons, coiling security, electrical	1	ea	\$3,871.76	\$3,872
Leaning Skills Lab, glazed overhead sectional, motorized	1	ea	\$24,617.94	\$24,618
08 32 13 SLIDING ALUMINUM-FRAMED GLASS DOORS				
08 41 13 ALUMINUM-FRAMED STOREFRONT AND ENTRANCI	ES			
08 43 33 FOLDING GLASS STOREFRONTS				
08 56 19 PASS-THRU WINDOWS				
08 71 00 DOOR HARDWARE				
08 81 00 GLASS GLAZING				
Glazing, per US Glass 072123				
Exterior storefront glazing	6,857	sf	\$147.46	\$1,011,065
Exterior glazing premium, 100% Tempered per G1.2 WIU	6,857	sf	\$4.61	\$31,622
Exterior storefront entries, per leaf	24	ea	\$11,834.22	\$284,021
Interior storefront glazing, allow 7' high	854	sf	\$97.26	\$83,059
Interior storefront glazing, clerestory, allow 3' high	96	sf	\$109.50	\$10,512
Interior storefront glazing, pass-through, allow 5' high	20	sf	\$147.93	\$2,959
Interior storefront entries, per leaf	42	ea	\$7,454.36	\$313,083
Aluminum sunshades / shade control, not anticipated			<b>\$00.000.00</b>	Excluded
BIM Modeling to LOD 300-350, exterior glazing	1	ls	\$20,800.00	\$20,800
Folding Glass Storefronts				
Classroom, glass folding storefront, 29' x10'	290	sf	\$225.00	\$65,250
Info Literacy Classroom, glass folding storefront, 29' x10'	290	sf	\$225.00	\$65,250
Sliding Glass Doors, per Walter & Wolf 072623				
Interior storefront entries, sliders, 8' high, 9/16", 2 panel	64	ea	\$11,969.10	\$766,022
Interior storefront entries, sliders, 8' high, 9/16", 3 panel	3	ea	\$14,094.17	\$42,283
Total - 8 OPENINGS				\$2,920,463
9 FINISHES				
09 60 10 CONCRETE MOISTURE CONTROL COATING				
Moisture Control System				
Moisture control, not anticipated for new concrete				Excluded
PORTLAND CEMENT PLASTER				
Cement Plaster				
Cement Plaster, brown, lath and scratch for stone	3,288	sf	\$14.78	\$48,594
05 40 00 COLD-FORMED METAL FRAMING				
Metal Stud Framing & Sheathing				

## LSRC Building Detail Elements

CSI Division	Quantity	Unit	Unit Cost	Total
	~~~~~		<b>*</b> ~~ ~~	<b>*</b> =00 ==0
Exterior wall, framing, inc parapets, allow 16ga	28,860	sf	\$20.68	\$596,773
Exterior wall, framing, open canopy, allow 16ga	1,295	sf	\$25.81	\$33,421
Exterior soffit/canopy framing	2,385	sf	\$31.49	\$75,107
Exterior headers / jamb studs at openings	3,290	lf	\$24.43	\$80,356
Interior wall framing, allow 18ga	58,030	sf	\$18.32	\$1,062,981
Interior ceiling framing	3,340	sf	\$20.11	\$67,182
Interior soffit framing	1,912	sf	\$21.50	\$41,115
Interior headers / jamb studs at openings	3,875	lf	\$24.43	\$94,659
Detailing, shop drawings and BIM LOD 350	1,172	mhr	\$130.43	\$152,858 Evoluted
Interior framing, premium for 16 gauge, not anticipated per N	vilyamolo			Excluded
06 16 43 EXTERIOR GYPSUM SHEATHING				
09 21 16 GYPSUM BOARD				
09 28 13 CEMENTITIOUS BACKING BOARDS				
Gypsum Board Surfacing, Taped and Sanded				
Exterior wall surfacing, including interior of parapet	30,540	sf	\$10.63	\$324,612
Exterior soffit surfacing	2,385	sf	\$11.79	\$28,129
Interior, shaft wall	2,400	sf	\$17.48	\$41,954
Gypsum Board, LV4 finish, 1-layer each side	113,660	sf	\$7.31	\$830,607
Gypsum Board, LV4 finish, interior side of ext. walls	28,860	sf	\$7.31	\$210,904
Gypsum Board premium, add layer at 1-hour fire walls	4,018	sf	\$3.28	\$13,175
Gypsum Board premium, add layer at 2-hour fire walls	700	sf	\$3.28	\$2,295
Gypsum Board premium, RC at 2-hour fire walls	700	sf	\$2.97	\$2,076
Gypsum board, at ceiling	3,340	sf	\$7.91	\$26,403
Gypsum board, at soffits	3,824	sf	\$7.91	\$30,229
Gypsum Board, acoustical & fireproofing caulking	142,520	sf	\$0.96	\$137,014
Acoustical Treatment				
Gypsum Board, STC per Thorburn 090723	12,334	sf	\$4.02	\$49,524
Sound masking	22,625	sf	\$5.07	\$114,656
09 30 13 CERAMIC TILING				
Ceramic Tile		_		
Ceramic wall tile, 7' at restroom walls	2,180	sf	\$31.99	\$69,743
06 20 23 INTERIOR FINISH CARPENTRY				
09 51 26 ACOUSTICAL WOOD CEILINGS (noted as wall pa	neling in spec)			
Wood Wall Paneling	0 1 /			
Decorative wood / metal, allow 1% of finished wall	1,425	sf	\$99.47	\$141,763
09 84 13 FIXED SOUND ABSORPTIVE PANELS			<b>A</b> CC CC	<b>**</b>
Fabric wrapped wall panels, allow 2% of finished wall	2,850	sf	\$29.96	\$85,387
09 51 00 ACOUSTICAL CEILINGS				

09 51 00 ACOUSTICAL CEILINGS 09 54 26 SUSPENDED WOOD CEILINGS

CSI Division	Quantity	Unit	Unit Cost	Total
ACT				
ACT, 2x4 grid	35,590	sf	\$12.59	\$448,004
ACT, 2x4 tiles w/ 2nd look	35,590	sf	\$4.72	\$167,878
Suspended ceiling trim, allow 6"	285	lf	\$56.41	\$16,077
Wood Ceilings				
Suspended wood ceiling	4,955	sf	\$100.56	\$498,289
Suspended ceiling trim, allow 6"	415	lf	\$56.41	\$23,410
03 54 00 PORTLAND CEMENT BASED UNDERLAYMENT				
09 61 43 WATER VAPOR EMISSION TESTING				
09 65 00 RESILIENT FLOORING				
09 65 13 RESILIENT BASE AND TRANSITION STRIPS				
09 68 13 TILE CARPETING				
Interior Floor Finishes, Including Base				
LVT with high RH glue/tape, allowance	17,852	sf	\$14.51	\$259,015
Carpet tile with high RH glue/tape, allowance	29,763	sf	\$8.17	\$243,076
Carpet premium, pattern for wayfinding	29,763	sf	\$1.05	\$31,102
Walk-off mats allowance	230	sf	\$53.16	\$12,226
Base, allow 4" rubber	10,065	sf	\$5.94	\$59,816
Cement Underlayment				
Ardex, not anticipated for new structure				Excluded
09 78 26 FIBERGLASS REINFORCES WALL PANELS (FRP)				
10 26 00 WALL AND DOOR PROTECTION				
10 26 13 CORNER GUARDS				
FRP and Wall Protection				
Cornerguards, allow 1 per 500 SF	100	ea	\$155.76	\$15,576
Wall protection allowance	1	ls	\$15,000.00	\$15,000
FRP allowance	400	sf	\$20.23	\$8,093
09 67 16 EPOXY FLOORING				
Epoxy Flooring, Including Integral Base				
Epoxy flooring at restrooms allowance	1,990	sf	\$29.48	\$58,663
09 91 00 PAINTING				
09 97 37 DRY ERASE COATINGS				
Paint				
Paint, exterior walls, Fiber Cement only	5,800	sf	\$3.05	\$17,676
Paint, exterior soffits, Fiber Cement only	2,385	sf	\$3.63	\$8,665
Paint, interior walls, gypsum board	140,340	sf	\$2.10	\$295,122
Paint, interior walls, dry erase allowance	1	ls	\$10,000.00	\$10,000
Paint, interior ceiling and soffits	7,164	sf	\$2.77	\$19,859
Paint, exposed ceilings	5,720	sf	\$2.77	\$15,856

#### 10/06/23

### LSRC Building Detail Elements

SI Division	Quantity	Unit	Unit Cost	Total
otal - 9 FINISHES				\$6,584,920
0 SPECIALTIES				
10 22 33 ACCORDION FOLDING PARTITIONS				
Operable Partitions				
Board Room DAIS, Folding wall w/ markerboards, 35'	1	ea	\$52,000.00	\$52,000
Learning Skill Lab, Folding partition w/ door, 28'	1	ea	\$42,700.00	\$42,700
Study Room, Markerboard folding partition, 12'	1	ea	\$19,900.00	\$19,900
10 11 16 MARKERBOARDS				
10 11 23 TACKBOARDS				
Markerboards and Tackboards				
Markerboards, allow 4' height	920	sf	\$39.69	\$36,517
Tackboard allowance	1	ls	\$15,000.00	\$15,000
(NO SPEC) TV Mounts				
TV Mounts				
TV mounts, F&I	58	ea	\$732.20	\$42,468
TV monitor, by owner				Excluded
10 44 00 FIRE PROTECTION SPECIALTIES				
Fire Protection				
Fire extinguishers, allow 1 per 2,500 sf	20	ea	\$800.00	\$15,874
10 51 13 METAL LOCKERS				
Metal Lockers				
Learning Commons Reception, metal lockers	8	ea	\$1,054.56	\$8,436
Lockers & Photo Station, metal lockers	10	ea	\$1,054.56	\$10,546
Test Proctoring, metal lockers	9	ea	\$1,054.56	\$9,491
10 21 13.19 SOLID PLASTIC TOILET COMPARTMENTS				
10 28 13 TOILET ACCESSORIES				
10 28 40 ELECTRIC HAND DRYERS				
Toilet Accessories, per Stumbaugh 071223				
Toilet partition stalls, full height	23	ea	\$6,189.63	\$142,36
Toilet stall accessories	27	ea	\$1,807.00	\$48,78
Janitor mop sink rack	2	ea	\$1,220.38	\$2,44
Electric hand dryer allowance	2	ea	\$1,020.53	\$2,04
Electric hand dryer allowance, electrical conduit/power	2	ea	\$884.53	\$1,769

#### 10 14 00 SIGNAGE

### 10 14 19 DIMENSIONAL LETTER SIGNAGE

Signage

## LSRC Building Detail Elements

CSI Division	Quantity	Unit	Unit Cost	Total
Exterior signage, 24" letters, "Library Student Resource"	28	ea	\$1,355.25	\$37,947
Exterior signage, 12" letters, "Library Student Resource"	28	ea	\$749.78	\$20,994
Exterior signage, 12" letters, "Library Student Resource"	28	ea	\$749.78	\$20,994
Exterior signage premium, backlighting	84	ea	\$115.29	\$9,685
Exterior signage premium, electrical conduit/power	84	ea	\$201.92	\$16,961
Interior code required signage	49,605	sf	\$0.98	\$48,703
Interior premium signage allowance	1	ls	\$25,000.00	\$25,000
Total - 10 SPECIALTIES				\$630,617
11 EQUIPMENT				
FOOD SERVICE EQUIPMENT				
Food Service Equipment				
Coffey cart, by Owner				Excluded
11 51 00 LIBRARY EQUIPMENT				
Library Shelving, per Ross McDonald 072523				
Shelving, 1-side, 66" high, 5 stack, per storage If	160	lf	\$38.68	\$6,189
Shelving, 2-side, 66" high, 5 stack, per storage lf	3,610	lf	\$38.68	\$139,628
Shelving allowance for 78" ILO 66", extra stack	754	lf	\$25.79	\$19,442
Shelving allowance for signage at end panels	32	ea	\$519.19	\$16,614
Total - 11 EQUIPMENT				\$181,873
12 FURNISHINGS				
12 24 13 ROLLER WINDOW SHADES				
Window Treatments				
Manual, mecho-shade, allow 50% interior windows	427	sf	\$20.03	\$8,554
Manual, mecho-shade, allow 50% exterior windows	3,428	sf	\$20.03	\$68,683
Motorized, mecho-shade, allow 50% exterior windows	3,428	sf	\$30.18	\$103,467
Total - 12 FURNISHINGS				\$180,704
14 CONVEYING EQUIPMENT				
14 24 23 HYDRAULIC PASSENGER ELEVATORS				
Elevators				
Elevator, 2-stop, 3,500 lb	1	ea	\$190,000.00	\$190,000
Total - 14 CONVEYING EQUIPMENT				\$190,000
				ψ100,000

Prepared by Tyler Swanson of FLINT

10/06/23

### LSRC Building Detail Elements

CSI Division	Quantity	Unit	Unit Cost	Total
21 FIRE SUPPRESSION				
07 84 13 PENETRATION FIRESTOPPING 21 00 00 FIRE SUPPRESSION SYSTEM 21 00 50 BASIC FIRE SPRINKLER MATERIALS AND METHODS 21 10 00 FIRE SPRINKLER SYSTEMS	i			
Wet-Pipe Sprinkler System, Per Du-Mor 080823 Fire suppression system	49,605	sf	\$6.26	\$310,475
BIM Modeling to LOD 300-350	+9,003	ls	\$50,000.00	\$50,000
Pre-action system, not anticipated	I	15	<b>400,000.00</b>	Excluded
Fire pump, not anticipated				Excluded
Total - 21 FIRE SUPPRESSION				\$360,475
22 PLUMBING				
PLUMBING				
07 84 13 PENETRATION FIRESTOPPING				
22 10 00 PLUMBING PIPING SYSTEMS				
22 40 00 PLUMBING FIXTURES				
22 50 00 PLUMBING EQUIPMENT				
Building Plumbing, per SVM 072523				
Plumbing system base	49,605	sf	\$24.38	\$1,209,267
Additional roof drains/trap primers at terrace (1 in base)	2	ea	\$5,000.00	\$10,000
Additional hose bibs (2 in base)	6	ea	\$2,500.00	\$15,000
Garbage disposals allowance	3	ea	\$950.00	\$2,850
Coffee water hookup allowance	3	ea	\$900.00	\$2,700
Insulate all DCW piping	1	ls	\$25,000.00	\$25,000
Fiberglass insulation at roof drain / overflow piping	1	ls	\$65,000.00	\$65,000
BIM Modeling to LOD 300-350	1	ls	\$101,544.00	\$101,544
Water booster and required drainage, not anticipated				Excluded
Total - 22 PLUMBING				\$1,431,361

#### Total - 22 PLUMBING

#### 23 HEATING, VENTILATING, & AIR-CONDITIONING

#### **HVAC**

**07 84 13 PENETRATION FIRESTOPPING** 08 90 00 LOUVERS AND VENTS 23 00 50 BASIC HVAC MATERIALS AND METHODS 23 05 93 TESTING, ADJUSTING, AND BALANCING, FOR HVAC 23 08 00.13 T-24 COMMISSIONING OF HVAC 23 09 23 DIRECT DIGITAL CONTROL SYSTEM FOR HVAC 23 80 00 HEATING, VENTILATING AND AIR CONDITIONING

### LSRC Building Detail Elements

I Division	Quantity	Unit	Unit Cost	Total
Building HVAC, per SVM 080123				
90-ton ASHP plant	1	ea	\$710,750.00	\$710,75
50-ton package AC units	2	ea	\$235,650.00	\$471,30
25-ton library AC unit	1	ea	\$201,170.00	\$201,17
3-ton split systems	3	ea	\$28,963.33	\$86,89
Restroom exhaust cores	2	ea	\$40,365.00	\$80,73
Electrical room fans, inc fire smoke dampeners	2	ea	\$20,570.00	\$41,14
Reheat-VAV zones	61	ea	\$16,506.56	\$1,006,90
Cooling only-VAV zones	8	ea	\$14,126.25	\$113,01
Medium pressure and supply air duct mains	49,605	sf	\$7.69	\$381,58
Heating hot water pipe mains	49,605	sf	\$5.52	\$273,68
Web based BMS controls, HVAC and occupancy sensors	49,605	sf	\$9.80	\$486,04
Crane	1	ea	\$42,110.00	\$42,11
Duct insulation	49,605	sf	\$2.82	\$139,80
Labor, material, equipment, sub escalation allowance	1	ls	\$231,000.00	\$231,00
BIM Modeling to LOD 300-350	1	ls	\$101,544.00	\$101,54
TEMPORARY UTILITIES				
Temporary Heating and Cooling				
Temporary Heating and Cooling	1	ls	\$30,000.00	\$30,00

Total - 23 HEATING, VENTILATING, & AIR-CONDITIONING

\$4,397,644

#### **26 ELECTRICAL**

ELECTRICAL
07 84 13 PENETRATION FIRESTOPPING
26 00 10 BASIC ELECTRICAL REQUIREMENTS
26 05 19 BUILDING WIRE AND CABLE
26 05 26 GROUNDING AND BONDING
26 05 29 ELECTRICAL HANGERS AND SUPPORT
26 05 31 CONDUIT
26 05 33 BOXES
26 05 36 CABLE TRAYS
26 05 43 UNDERGROUND DUCTS AND STRUCTURES
26 05 46 SIGNAL SYSTEMS RACEWAYS
26 05 53 ELECTRICAL IDENTIFICATION
26 08 00 ELECTRICAL COMMISSIONING
26 09 43 NETWORK ADDRESSABLE LIGHTING CONTROL
26 22 13 DRY TYPE TRANSFORMERS
26 24 16 PANELBOARDS
26 27 16 CABINETS AND ENCLOSURES
26 27 26 WIRING DEVICES
26 28 16 OVERCURRENT PROTECTIVE DEVICES
26 28 19 DISCONNECT SWITCHES

#### 10/06/23

## LSRC Building Detail Elements

CSI Division	Quantity	Unit	Unit Cost	Total
	Quantity	Unit	Unit COSt	iotai
26 29 00 MOTOR CONTROLS				
26 43 13 SURGE PROTECTIVE DEVICES				
26 50 00 LIGHTING				
26 73 19 ASSISTIVE LISTENING SYSTEM				
Building Electrical, per GLS 092923				
MSB				w/ Site
Panel, 277/480V, H1 & H2	2	ea	\$15,000.00	\$30,000
Panel, 120/208V, 500A, L1 & L2	2	ea	\$10,000.00	\$20,000
Sub Panels, 120/208V, 225A, L1A - L2G	16	ea	\$10,000.00	\$160,000
Home run conduit and wiring	1,805	lf	\$250.00	\$451,250
Fixtures	49,605	sf	\$14.14	
A, 2x4 Lay-in, 56W	274	ea	\$685.69	\$187,879
A1, 2x4 Lay-in, 40W				None Seen
B, 2x2 Lay-in, 56W	59	ea	\$493.53	\$29,118
C, 4" recessed, 1500L	177	ea	\$685.69	\$121,367
CE, 4" recessed, 1500L w/ battery backup				None Seen
C1, 4" recessed, 800L	77	ea	\$685.69	\$52,798
D, not used				None Seen
E, exit light, allow 1 per 2,500 SF	20	ea	\$584.73	\$11,695
F, 2" undercounter fixture, 9W				None Seen
G, 4' long strip light, 10,000L	12	ea	\$877.84	\$10,534
G1, 2' long strip light, 10,000L				None Seen
H, 8" suspended cylinder	68	ea	\$1,646.47	\$111,960
J, 12' long strip light	2	ea	\$4,539.95	\$9,080
J1, 18' long strip light	5	ea	\$5,981.12	\$29,906
J2, 28' long strip light	5	ea	\$9,998.40	\$49,992
J3, 6' long strip light	5	ea	\$2,367.67	\$11,838
J4, 4' long strip light	7	ea	\$1,887.28	\$13,211
K, 4" suspended pendant	12	ea	\$1,204.97	\$14,460
L, 12' long suspended	2	ea	\$5,020.34	\$10,041
M, 4' long wall mounted	6	ea	\$1,079.76	\$6,479
M1, 2' long wall mounted	4	ea	\$983.68	\$3,935
X, exterior decorative wall pack and fixture	23	ea	\$1,189.37	\$27,355
Lighting controls	758	ea	\$485.27	\$367,835
Receptacles	613	ea	\$234.12	\$143,516
Floor boxes	105	ea	\$2,494.33	\$261,905
WAP, allow 15 per floor	30	ea	\$1,500.00	\$45,000
Branch conduit and wiring, allow ave 50' per device	73,800	lf	\$12.97	\$957,536
Wiring devices and trim	2,234	ea	\$201.92	\$451,080
Inverters for egress lighting, allowance	2	ea	\$50,000.00	\$100,000
Emergency Generator Backup				
Diesel powered generator on skid, allowance	1	ls	\$48,846.73	\$48,847

#### Solay Array

#### GJCCD Library and Student Resource Center Project Schematic Design Documents Statement of Probable Cost

#### LSRC Building Detail Elements

CSI Division	Quantity	Unit	Unit Cost	Total
	75	1		¢445 400
Solar array allowance	75 1	kw	\$5,535.01 \$48,846.73	\$415,126
Battery backup allowance	1	ls	φ40,040.73	\$48,847
11 52 00 AUDIO VISUAL EQUIPMENT				
11 52 13 PROJECTION SCREENS				
Audio Visual				
Audio visual infrastructure	49,605	sf	\$10.00	\$496,050
Audio visual equipment, by Owner				Excluded
27 00 00 COMMUNICATIONS BASIC REQUIREMENTS				
27 05 00 TELEPHONE DATA RACEWAY SYSTEM				
27 05 28 TELECOMMUNICATIONS PATHWAYS				
27 10 00 COMMUNICATIONS EQUIPMENT ROOMS				
27 13 00 COMMUNICATIONS BACKBONE CABLING				
27 15 00 HORIZONTAL COMMUNICATIONS ROOMS				
27 51 00 HORIZONTAL COMMUNICATIONS CABLING				
Data and Communications				
Data / communications	49,605	sf	\$17.00	\$843,285
28 10 00 ACCESS CONTROL SYSTEMS				
28 20 00 VIDEO SURVEILLANCE				
28 31 00 INTRUSION DETECTION ALARM MONITORING				
28 46 00 FIRE DETECTION ALARM				
28 47 00 MASS NOTIFICATION				
Fire alarm	49,605	sf	\$8.00	\$396,840
Access control	49,605	sf	\$4.50	\$223,275
Security / intrusion	49,605	sf	\$5.64	\$279,932
Paging / clocks, not anticipated				Excluded
Total - 26 ELECTRICAL				\$6,441,972
32 EXTERIOR IMPROVEMENTS				
LANDSCAPING				
Landscaping				
Landscape planters allowance	1	ls	\$75,000.00	\$75,000
Irrigation allowance for roof deck	3,585	sf	\$5.00	\$17,918
Total - 32 EXTERIOR IMPROVEMENTS				\$92,918
				<i>~~_</i> ,•.•

# Gavilan College Library & Student Resource Center (LSRC)

## **Schematic Design Submittal**

## Section 7 Schedule Update #18

ACIVITY	ID	ACT RESP	ACTIVITY NAME	ORIG DUR	REM'G DUR	START	FINISH					2024			<b>_</b>
			Otradant Deserves Contan #40	996	683	18-Jul-22 A	14-Jul-26		N D	JF	MAN	JJul	ASO	Oct N D	J
GC	ノC - LIDra	ary &	Student Resource Center - #18 - I												
Pr	oject Mile	stone	S	882	683	03-Jan-23 A	14-Jul-26								
i.	1-1010		Notice to Proceed - Pre-Construction Services	0	0	03-Jan-23 A		Services	·						
PM	1-1015		Submit to DSA - Inc # 0	0	0	01-Feb-24				♦ Su	omit to DS	A - Inc # 0			
PM	1-1018		DSA Approval - Inc. # 0	0	0		19-Apr-24						al - Inc. # 0		
PM	1-1020		Submit to DSA - Inc #1	0	0	02-Apr-24						nit to DSA			
PM	1-1025		Summary - In Calendar Days - NTP - Substantial Completion - Sch	1010	728	03-Jan-23 A	03-Oct-25								
PM	1-1030		Start Construction	0	0	02-Jul-24							art Constru		
PM	1-1035		Summary - In Calendar Days - NTP - 95% CDs - Schedule Update	279	0	03-Jan-23 A	07-Oct-23	Sun	nmary - I				CDs - Sche		
PM	1-1040		DSA Approval - Inc #1	0	0		26-Jun-24					♦ DS	SA Approval	- Inc #1	
PM	1-1045		Summary - In Calendar Days - DSA Approval - Substantial Comple	525	525	08-Nov-24	16-Apr-26								
PM	1-1050		Pad Certified	0	0		04-Nov-24							Pad	Certifie
PM	1-1055		Summary - In Calendar Days - NTP - 95% CDs - Due to Added Prc	465	208	03-Jan-23 A	01-May-24					Summary -	In Calenda	ar Days - N	TP - 95
PM	1-1060		Slab on Grade Complete	0	0		13-Mar-25								
PM	1-1065		Summary - In Calendar Days - NTP - Substantial Completion - Due	1180	923	03-Jan-23 A	16-Apr-26								
PM	1-1070		Structure Complete	0	0		14-May-25								
PM	1-1080		Roof Complete	0	0		29-Jul-25								
PM	1-1090		Building Envelope Complete	0	0		19-Aug-25								
PM	1-1100		Permanent Power Complete	0	0		07-Nov-25								
PM	1-1120		Submit to DSA - Inc #2	0	0	02-May-24					• :	Submit to D	DSA - Inc #2	2	
PM	1-1130		DSA Approval - Inc #2	0	0		07-Nov-24							DSA	Appro
PM	1-1140		GMP Approval	0	0		18-Jul-24					•	GMP Appro	oval	
PM	1-1150		Owner Move In	30	30	17-Apr-26	01-Jun-26								
PM	1-1160		Substantial Completion with Weather	0	0		16-Apr-26*								
PM	1-1170		NTP for Construction - Inc #0	0	0	05-Jun-24						NTP for	or Construc	tion - Inc #	:0
PM	1-1180		Final Completion	0	0		14-Jul-26								
PM	1-1190		NTP for Construction - Inc #2 & #3	0	0	19-Jul-24						•	NTP for Co	onstruction	-Inc#
Di	strict Aca	demic	Calendar	694	540	03-Jan-23 A	11-Dec-25								
DC	2-1010		Spring Semester of 2023	84	0	30-Jan-23 A	09-Jun-23 A	ter of 20	)23						
-	2-1020		Summer Semester of 2023	29	0	12-Jun-23 A	24-Jul-23 A	er Seme		2023					
	2-1030		Fall Semester of 2023	78	45	21-Aug-23 A	12-Dec-23				ster of 2023				
DC	2-1040		Spring Semester of 2024	85	85	29-Jan-24*	30-May-24					Spring	Semester o	of 2024	
	2-1050		Summer Semester of 2024	30	30	10-Jun-24*	23-Jul-24						Summer S		of 2024
	2-1060		Fall Semester of 2024	80	80	19-Aug-24*	12-Dec-24								Fall S
DC	-1070		Spring Semester of 2025	85	85	27-Jan-25*	29-May-25								
DC	2-1080		Summer Semester of 2025	30	30	09-Jun-25*	21-Jul-25								
DC	2-1090		Fall Semester of 2025	80	80	18-Aug-25*	11-Dec-25								
DC	C-1100		Winter Intersession of 2023	17	0	03-Jan-23 A	23-Jan-23 A								
DC	2-1110		Winter Intersession of 2024	18	18	02-Jan-24*	26-Jan-24		-	<b>W</b> in	ter Interses	sion of 202	<u>2</u> 4		
DC	2-1120		Winter Intersession of 2025	15	15	06-Jan-25*	27-Jan-25								-
		Droioc	ct Award	114	0	18-Jul-22 A	03-Jan-23 A	d							
R	322276244														



2025								2026			
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# A		ACT	ACTIVITY NAME	ORIG	REM'G	START	FINISH	2024
		RESP		DUR	DUR			O N D J F M A M J Jul A S Oct N D J
43	RFP-1010	FLINT	Prepare RFP Submittal Response	41	0	18-Jul-22 A	14-Sep-22 A	
44	RFP-1020	DISTR(	Pre-Proposal Conference	1	0	27-Jul-22 A	27-Jul-22 A	
45	RFP-1030	DISTR(	Individual Proposer Meeting	1	0	24-Aug-22 A	24-Aug-22 A	
46	RFP-1040	DISTR(	RFP Due	0	0		14-Sep-22 A	
47	RFP-1050	DISTR(	District Evaluates RFP Responses	3	0	16-Sep-22 A	20-Sep-22 A	
48	RFP-1060	DISTR(	DBE Interviews	1	0	21-Sep-22 A	21-Sep-22 A	
49	RFP-1070	DISTR(	Notice of Intent to Award	0	0	05-Oct-22 A		
50	RFP-1080	DISTR(	Contract Negotiations	18	0	05-Oct-22 A	06-Dec-22 A	
51	RFP-1090	DISTR(	Board of Trustees Approval	0	0	13-Dec-22 A		
52	RFP-1100	DISTR(	Execute Contract	1	0	20-Dec-22 A	20-Dec-22 A	
53	RFP-1110	DISTR(	Issue NTP	0	0	03-Jan-23 A		
54	Design and	d Preco	onstruction Services	626	466	09-Feb-23 A	25-Aug-25	
55			Schematic Design	128	10	09-Feb-23 A	20-Oct-23	20-Oct-23, Program Validation/Schematic Design
56	D-SD-1020		Schematic Design (Per Original Design Schedule)	25	0	03-Jul-23 A	09-Aug-23 A	matic Design (Per Original Design Schedule)
57	D-SD-1025		Schematic Design Budget Update (Per Original Design Schedule)	9	0	28-Jul-23 A	10-Aug-23 A	matic Design Budget Update (Per Original Design Schedule)
58	D-SD-1030		Submit Revised Schematic Design to College for Approval	0	0		06-Oct-23 A	<ul> <li>Submit Revised Schematic Design to College for Approval</li> </ul>
59	D-SD-1040		College Review of Schematic Design Package	14	14	07-Oct-23	20-Oct-23	College Review of Schematic Design Package
60	D-SD-1050		Approval of Schematic Design	0	0		20-Oct-23	Approval of Schematic Design
61	D-SD-1060		Additional Programming, Stakeholder Engagement & Concept Ref	141	0	09-Feb-23 A	30-Jun-23 A	Programming, Stakeholder Engagement & Concept Refinement Delay
62	D-SD-1100		Additional Schematic Design Due to Changes	56	0	10-Aug-23 A	05-Oct-23 A	Additional Schematic Design Due to Changes
63	Increment # 0	- Site Utilit	ty Infrastructure	94	10	07-Jun-23 A	20-Oct-23	20-Oct-23, Increment # 0 - Site Utility Infrastructure
64	D-SD-1070		BKF Grading Concept to Steinberg Hart/PS2CSW Team	13	0	07-Jun-23 A	24-Jul-23 A	ading Concept to Steinberg Hart/PS2CSW Team
65	D-SD-1080		SH Team Develops Progress Set for Budgeting by FLINT	15	0	24-Jul-23 A	29-Sep-23 A	SH Team Develops Progress Set for Budgeting by FLINT
66	D-SD-1090		SH Provide Schemtic Package for Approval	10	10	02-Oct-23 A	20-Oct-23	SH Provide Schemtic Package for Approval
67	D-SD-1110		B+D to Meet with Serfin to Review Increment #0	10	10	02-Oct-23 A	20-Oct-23	B+D to Meet with Serfin to Review Increment #0
68	D-SD-1120		Approval of Increment #0's Scope by Sarafin	0	0		20-Oct-23	◆ Approval of Increment #0's Scope by Sarafin
69	Design Deve	elopmen		231	71	15-Feb-23 A	22-Jan-24	22-Jan-24, Design Development
70			ty Infrastructure	198	60	15-Feb-23 A	04-Jan-24	04-Jan-24, Increment # 0 - Site Utility Infrastructure
71	D-DD-0-1000		Added Services for Site Infrastructure Investigation Approved	1	0	15-Feb-23 A	15-Feb-23 A	ucture Investigation Approved
72	D-DD-0-1005		NTP for Site Utility Infrastructure - Site Investigation	0	0	21-Feb-23 A		re - Site Investigation
73	D-DD-0-1007		NTP to Steinberg Hart to start design	0	0	18-Apr-23 A		to start design
74	D-DD-0-1010		BKF Site Survey of Utility Infrastructure	15	0	27-Feb-23 A	23-Mar-23 A	nfrastructure
75	D-DD-0-1017		PGE Design & Coordination	60	60	06-Sep-23 A	04-Jan-24	PGE Design & Coordination
76	D-DD-0-1030		Prepare field data for Steinberg Hart / P2S	20	0	24-Mar-23 A	01-May-23 A	r Steinberg Hart / P2S
77	D-DD-0-1040		BKF Design Development of Utility Infrastructure	20	20	23-Oct-23	17-Nov-23	BKF Design Development of Utility Infrastructure
78	D-DD-0-1050		College Review/Approval of Site Infrastructrure DD	14	14	18-Nov-23	01-Dec-23	College Review/Approval of Site Infrastructrure DD
79	D-DD-0-1060		College Approval of Inc.0 DD	0	0		01-Dec-23	◆ Cøllege Approval of Inc.0 DD
80	Increment # 1	- Site & Ut	ility Design	59	59	23-Oct-23	18-Jan-24	▼ 18-Jan-24, Increment # 1 - Site & Utility Design
81	D-DD-1-1000		Site Investigation / Survey	3	3	30-Oct-23	01-Nov-23	Site Investigation / Survey
82	D-DD-1-1010		Potholing Utilities - Confirm Inverts/Alignment	3	3	09-Nov-23	13-Nov-23	Potholing Utilities - Confirm Inverts/Alignment
83	D-DD-1-1020		Inc # 1 Site Design Development	40	40	23-Oct-23	19-Dec-23	Inc # 1 Site Design Development
84	D-DD-1-1025		Inc # 1 Design Development Budget Update	10	10	20-Dec-23	04-Jan-24	Inc # 1 Design Development Budget Update
	D-DD-1-1030		Submit Site Design Development Package for College Review	0	0		04-Jan-24	<ul> <li>Submit Site Design Development Package for College Re</li> </ul>



#### GCC - Library Student Resource Center - #18 - DD 10.06.23

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Page 2 of 14

#	AC	IVITY ID	ACT	ACTIVITY NAME	ORIG	REM'G	START	FINISH		2024
			RESP		DUR	DUR			O N D	D J F M A M J Jul A S Oct N D J F
86		D-DD-1-1040		College Review of Site Design Development	14	14	05-Jan-24	18-Jan-24		College Review of Site Design Development
87		D-DD-1-1050		Site Design Development Approval	0	0		18-Jan-24		Site Design Development Approval
88		Increment # 2 -	Building	Design	61	61	23-Oct-23	22-Jan-24		▼ 22-Jan-24, Increment # 2 - Building Design
89		D-DD-2-1000		Building Design Development	47	47	23-Oct-23	29-Dec-23		Building Design Development
90		D-DD-2-1005		Inc # 2 Design Development Budget Update	10	10	22-Dec-23	08-Jan-24		Inc # 2 Design Development Budget Update
91		D-DD-2-1010		Submit Building Design Development	0	0		08-Jan-24		Submit Building Design Development
92		D-DD-2-1020		College Review Building Design Development	14	14	09-Jan-24	22-Jan-24		College Review Building Design Development
93		D-DD-2-1030		Building Design Development Package Approval	0	0		22-Jan-24		Building Design Development Package Approval
94		Construction	<b>Docu</b> n	nents	103	103	04-Dec-23	01-May-24	-	▼ 01-May-24, Construction Documents
95		Increment # 0 -	Site Utili	ity Infrastructure	40	40	04-Dec-23	31-Jan-24		■ 31-Jan-24, Increment # 0 - Site Utility Infrastructure
96		D-CD-0-1000		Site Infrastructure Construction Documents	30	30	04-Dec-23	17-Jan-24		Site Infrastructure Construction Documents
97		D-CD-0-1005		College Review of Site Infrastructure CD Package	14	14	18-Jan-24	31-Jan-24		College Review of Site Infrastructure CD Package
98		Increment # 1 -	Site & U	tility Design	60	60	19-Jan-24	15-Apr-24		▼ 15-Apr-24, Increment # 1 - Site & Utility Desi
99		D-CD-1-1000		Site & Utility Construction Documents	40	40	19-Jan-24	18-Mar-24		Site & Utility Construction Documents
100		D-CD-1-1005		Inc # 1 - 50% CD Budget Update	10	10	09-Feb-24	26-Feb-24		Inc # 1 - 50% CD Budget Update
101		D-CD-1-1010		Submit Site & Utility 50% CD to College	0	0	27-Feb-24			♦ Submit Site & Utility 50% CD to College
102		D-CD-1-1020		College Review of Site 50% CD's	14	14	19-Mar-24	01-Apr-24		College Review of Site 50% CD's
103		D-CD-1-1030		Approval of 50% Site CD Package	0	0		01-Apr-24		♦ Approval of 50% Site CD Package
104		D-CD-1-1035		Inc # 1 - 95% CD Budget Update	10	10	12-Mar-24	25-Mar-24		Inc # 1 - 95% CD Budget Update
105		D-CD-1-1040		Submit Site 95% CD Package	0	0	02-Apr-24			♦ Submit Site 95% CD Package
106		D-CD-1-1050		College Review of 95% CD Package	10	10	02-Apr-24	15-Apr-24		College Review of 95% CD Package
107		D-CD-1-1060		Site 95% CD Package Approval	0	0		15-Apr-24		♦ Site 95% CD Package Approval
108		Increment # 2 -	Building	Design	70	70	23-Jan-24	01-May-24		▼ 01-May-24, Increment # 2 - Building Desig
109		D-CD-2-1000		Building Construction Documents	50	50	23-Jan-24	03-Apr-24		Building Construction Documents
110		D-CD-2-1005		Inc # 2 - 50% CD Budget Update	10	10	07-Mar-24	20-Mar-24		Inc # 2 - 50% CD Budget Update
111		D-CD-2-1010		Submit Building 50% CD to College	0	0	21-Mar-24			Submit Building 50% CD to College
112		D-CD-2-1020		College Review of Building 50% CD's	10	10	21-Mar-24	03-Apr-24		College Review of Building 50% CD's
113		D-CD-2-1030		Approval of 50% Building CD Package	0	0		03-Apr-24		◆ Approval of 50% Building CD Package
114		D-CD-2-1040		Submit Building 95% CD Package	0	0	04-Apr-24			◆ Submit Building 95% CD Package
115		D-CD-2-1050		College Review of Building 95% CD Package	20	20	04-Apr-24	01-May-24		College Review of Building 95% CD Pack
116		D-CD-2-1060		Building 95% CD Package Approval	0	0		01-May-24		Building 95% CD Package Approval
117		AHJ Review/	Approv	rals	261	261	23-Oct-23	07-Nov-24		▼ 07-Nov-24, A
118		CGS Review/A	pproval		60	60	23-Oct-23	19-Jan-24		▼ 19-Jan-24, CGS Review/Approval
119		AHJ-CGS-1000		Submit Geohazard Report and Application to CGS	0	0	23-Oct-23		Submi	t Geohazard Report and Application to CGS
120		AHJ-CGS-1010		CGS Review of Geohazard	60	60	23-Oct-23	19-Jan-24		CGS Review of Geohazard
121		AHJ-CGS-1020		CGS Approval of Geohazard Report	0	0		19-Jan-24		◆ CGS Approval of Geohazard Report
122		DSA Incremen	t # 0 Site	Utility Infrastructure	55	55	01-Feb-24	19-Apr-24		▼ 19-Apr-24, DSA Increment # 0 Site Utility In
123		AHJ-0-1000		Inc. # 0 Site Infrastructure Submittal to DSA	0	0	01-Feb-24			♦ Inc. # 0 Site Infrastructure Submittal to DSA
124		AHJ-0-1010		DSA Review Inc. 0	45	45	01-Feb-24	05-Apr-24		DSA Review Inc. 0
125		AHJ-0-1020		Inc. 0 Backcheck	10	10	08-Apr-24	19-Apr-24		Inc. 0 Backcheck
126		AHJ-0-1030		DSA Approval Increment # 0	0	0		19-Apr-24		DSA Approval Increment # 0
127		DSA Incremen	t # 1 Revi	iew/Approval	152	152	15-Nov-23	26-Jun-24		▼ 26-Jun-24, DSA Increment # 1 Re
128		AHJ-1-1000		DSA Collaborative Kick-Off Meeting	0	0	15-Nov-23*		♦ DS	A Collaborative Kick-Off Meeting



#### GCC - Library Student Resource Center - #18 - DD 10.06.23

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Data Date: 06-Oct-23 Run Date: 04-Oct-23 Page 3 of 14

#	ACIVITY ID	ACT	ACTIVITY NAME	ORIG	REM'G	START	FINISH	2024
		RESP		DUR	DUR			O N D J F M A M J Jul A S Oct N D J I
129	AHJ-1-1010		Inc. # 1 - Submittal to DSA	0	0	02-Apr-24		♦ Inc. # 1 - Submittal to DSA
130	AHJ-1-1020		DSA Review	50	50	02-Apr-24	12-Jun-24	DSA Review
131	AHJ-1-1030		Inc. # 1 Backcheck	10	10	13-Jun-24	26-Jun-24	Inc. # 1 Backcheck
132	AHJ-1-1040		DSA Approval Increment # 1	0	0		26-Jun-24	DSA Approval Increment # 1
133	DSA Increme	nt#2Rev	riew/Approval	130	130	02-May-24	07-Nov-24	▼ 07-Nov-24, [
134	AHJ-2-1000		Inc. # 2 - Submittal to DSA	0	0	02-May-24		♦ Inc. # 2 - Submittal to DSA
135	AHJ-2-1010		DSA Review Inc. 2	110	110	02-May-24	10-Oct-24	DSA Review Inc.
136	AHJ-2-1020		Inc. # 2 Backcheck	20	20	11-Oct-24	07-Nov-24	Inc. #2 Back
137	AHJ-2-1030		DSA Approval Increment # 2	0	0		07-Nov-24	◆ DSA Approva
138	Design Pha	se Pull I	Planning/Constructability	112	62	12-Jul-23 A	08-Jan-24	▼ 08-Jan-24, Design Phase Pull Planning/Constructability
139	PPD-1000		Increment 1 & 2 - Schematic thru DD Phase Pull Planning Session	1	0	12-Jul-23 A	12-Jul-23 A	t 1 & 2 - Schematic thru DD Phase Pull Planning Session
140	PPD-1010		Increment 1 & 2 - DD thru CD Pull Planning Session	1	1	09-Oct-23	09-Oct-23	I Increment 1 & 2 - DD thru CD Pull Planning Session
141	PPD-1020		BIM Coordination Session	5	5	02-Jan-24	08-Jan-24	BIM Coordination Session
142	GMP Devel	opment		193	193	09-Oct-23	18-Jul-24	18-Jul-24, GMP Development
143	Increment #0		astructure	30	30	22-Apr-24	04-Jun-24	▼ 04-Jun-24, Increment #0 - Site Infra:
144	GMP-0-1000		Increment # 0 - Site Infrastructure Bid & Selection Phase	30	30	22-Apr-24	04-Jun-24	Increment # 0 - Site Infrastructure Bi
145	Increment #2	& #3 - Site	ework & Building	193	193	09-Oct-23	18-Jul-24	T 18-Jul-24, Increment #2 & #3
146	GMP-1000		100% Schematic Target Budget Update	10	10	09-Oct-23	20-Oct-23	100% Schematic Target Budget Update
147	GMP-1010		Design-Build MEPF, SS, Glazing, & Elevator Selected for Pre-Cons	30	30	23-Oct-23	05-Dec-23	Design-Build MEPF, SS, Glazing, & Elevator Selected for Pre-C
148	GMP-1020		Inc # 1 - 100% DD Update	10	10	20-Dec-23	04-Jan-24	🔲 Inc # 1 - 100% DD Update
149	GMP-1025		Inc # 2 - 100% DD Budget Update	10	10	22-Dec-23	08-Jan-24	Inc # 2 - 100% DD Budget Update
150	GMP-1030		Inc # 1 - 50% CD Budget Update	10	10	09-Feb-24	26-Feb-24	Inc # 1 - 50% CD Budget Update
151	GMP-1035		Inc # 2 - 50% CD Budget Update	10	10	07-Mar-24	20-Mar-24	Inc # 2 - 50% CD Budget Update
152	GMP-1037		Inc # 1 - 95% CD Budget Update	10	10	12-Mar-24	25-Mar-24	□ Inc # 1 - 95% CD Budget Update
153	GMP-1040		Develop Bid Package Documents	20	20	14-Mar-24	10-Apr-24	Develop Bid Package Documents
154	GMP-1050		District Internal Review of GMP Documents	10	10	11-Apr-24	24-Apr-24	District Internal Review of GMP Document
155	GMP-1060		Project Out to Bid	20	20	02-May-24	31-May-24	Project Out to Bid
156	GMP-1070		Subcontractor Interviews & Selections	10	10	03-Jun-24	14-Jun-24	Subcontractor Interviews & Selection
157	GMP-1080		Review & Compile Proposals & Develop GMP	7	7	17-Jun-24	25-Jun-24	Review & Compile Proposals & D
158	GMP-1090		Send Subcontracts Out for Signature	7	7	26-Jun-24	08-Jul-24	Send Subcontracts Out for Sign
159	GMP-1100		District to Review & Approve GMP	15	15	26-Jun-24	18-Jul-24	District to Review & Approve C
160	GMP-1110		GMP Approval	0	0		18-Jul-24	GMP Approval
161	Preconstru	ction		406	406	05-Jan-24	25-Aug-25	
162	Submittal & I	laterial Pr	ocurement	406	406	05-Jan-24	25-Aug-25	
163	Increment #0	- Utility Inf	rastructure	358	358	05-Jan-24	17-Jun-25	
164	Demo			15	15	05-Jun-24	25-Jun-24	25-Jun-24, Demo
165	SUB-1-3020		Develop Submittal	10	10	05-Jun-24	18-Jun-24	Develop Submittal
166	SUB-1-3030		Review Submittal	5	5	19-Jun-24	25-Jun-24	Review Submittal
167	Wet Utilities			20	20	05-Jun-24	02-Jul-24	02-Jul-24, Wet Utilities
168	SUB-1-3050		Develop Submittal	5	5	05-Jun-24	11-Jun-24	Develop Submittal
169	SUB-1-3060		Review Submittal	5	5	12-Jun-24	18-Jun-24	Review Submittal
170	SUB-1-3070		Procure Material	10	10	19-Jun-24	02-Jul-24	Procure Material
171	Site Electric	al		358	358	05-Jan-24	17-Jun-25	



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#	ACI		ACT		ORIG	REM'G	START	FINISH		2024
			RESP		DUR	DUR			O N D	J F M A M J Jul A S Oct N D J F
172		SUB-1-3080		Develop Submittal	10	10	05-Jun-24	18-Jun-24		Develop Submittal
173		SUB-1-3090		Review Submittal	5	5	19-Jun-24	25-Jun-24		Review Submittal
174		SUB-1-3100		Procure Material	10	10	26-Jun-24	11-Jul-24		Procure Material
175		SUB-1-3110		PGE to Procure Transformer	100	100	05-Jan-24	30-May-24		PGE to Procure Transformer
176		SUB-1-3120		Procurement of New Switchboard	240	240	26-Jun-24	17-Jun-25		
177		Increment # 1 - 3	Sitework		246	246	01-Feb-24	30-Jan-25		▼ 30
178		Demo			30	30	19-Jul-24	29-Aug-24		29-Aug-24, Demo
179		SUB-1-1000		Develop Submittal	15	15	19-Jul-24	08-Aug-24		🔲 Develop Submittal
180		SUB-1-1090		Review Submittal	15	15	09-Aug-24	29-Aug-24		🔲 Review Submittal
181		SUB-1-1180		Provide Notifications	10	10	09-Aug-24	22-Aug-24		Provide Notifications
182		SWPPP			25	25	01-Feb-24	08-Mar-24		08-Mar-24, SWPPP
183		SUB-1-3000		Develop SWPP Plan	15	15	01-Feb-24	23-Feb-24		Develop SWPP Plan
184		SUB-1-3010		Submit Plan to Waterboard	10	10	26-Feb-24	08-Mar-24		Submit Plan to Waterboard
185		Site Concrete			50	50	19-Jul-24	30-Sep-24		30-Sep-24, Site Cor
186		SUB-1-1010		Develop Submittal	20	20	19-Jul-24	15-Aug-24		Develop Submittal
187		SUB-1-1100		Review Submittal	15	15	16-Aug-24	09-Sep-24		Review Submittal
188		SUB-1-1190		Procure Material	15	15	10-Sep-24	30-Sep-24		Procure Material
189		Masonry			115	115	19-Jul-24	07-Jan-25		V 07-Ja
190		SUB-1-1020		Develop Submittal	40	40	19-Jul-24	16-Sep-24		
191		SUB-1-1110		Review Submittal	15	15	17-Sep-24	07-Oct-24		🔲 Review Submittal
192		SUB-1-1200		Procure Material	60	60	08-Oct-24	07-Jan-25		Procu
193		Site Gas Line			45	45	19-Jul-24	23-Sep-24		23-Sep-24, Site Gas
194		SUB-1-1030		Develop Submittal	20	20	19-Jul-24	15-Aug-24		Develop Submittal
195		SUB-1-1120		Review Submittal	15	15	16-Aug-24	09-Sep-24		Review Submittal
196		SUB-1-1210		Procure Material	10	10	10-Sep-24	23-Sep-24		Procure Material
197		Site Electrical	Undergro		45	45	27-Jun-24	03-Sep-24		v riccare international v 03-Sep-24, Site Electrica
198		SUB-1-1050		Develop Submittal	20	20	27-Jun-24	26-Jul-24		Develop Submittal
199		SUB-1-1140		Review Submittal	15	15	29-Jul-24	16-Aug-24		Review Submittal
200		SUB-1-1230		Procure Material	10	10	19-Aug-24	03-Sep-24		Procure Material
201		Site Light Fixte	ures		145	145	27-Jun-24	30-Jan-25		▼ 30
202		SUB-1-1060		Develop Submittal	30	30	27-Jun-24	09-Aug-24		Develop Submittal
203		SUB-1-1150		Review Submittal	15	15	12-Aug-24	03-Sep-24		Review Submittal
204		SUB-1-1240		Procure Material	100	100	04-Sep-24	30-Jan-25		P ▼ 23-Sep-24, Site Under
205		Site Undergrou	and Pipin	_	45	45	19-Jul-24	23-Sep-24		
206		SUB-1-1070		Develop Submittal	20	20	19-Jul-24	15-Aug-24		Develop Submittal
207		SUB-1-1160		Review Submittal	15	15	16-Aug-24	09-Sep-24		Review Submittal
208		SUB-1-1250	Cubasitt	Procure Material	10	10	10-Sep-24	23-Sep-24		
209 210		All Other Inc. 1 SUB-1-1080	Submitta	a <i>ls</i> Develop Submittal	105 60	105 60	19-Jul-24 19-Jul-24	18-Dec-24 14-Oct-24		↓ 18-Dec- Develop \$ubmitta
210		SUB-1-1080		Review Submittal	15	15	19-Jui-24 15-Oct-24	04-Nov-24		Review Submit
211 212		SUB-1-11260		Procure Material	30	30	05-Nov-24	18-Dec-24		
212		Increment # 2 - 1	Building		273	273	19-Jul-24	25-Aug-25		
213		Structural Con			40	40	19-Jul-24 11-Oct-24	09-Dec-24		▼ 09-Dec-2
214		SUB-2-1000	Gele	Develop Submittal	40 20	20	11-Oct-24	09-Dec-24 07-Nov-24		Develop Subn
215		000-2-1000			20	20	11-001-24	07-1107-24		



#### GCC - Library Student Resource Center - #18 - DD 10.06.23

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1	TY ID	ACT		ORIG	REM'G	START	FINISH		2024
		RESP		DUR	DUR			O N D	J F M A M J Jul A S Oct N D J F
216	SUB-2-1130		Review Submittal	15	15	08-Nov-24	02-Dec-24		Review St
217	SUB-2-1260		Procure Material	5	5	03-Dec-24	09-Dec-24		Procure I
218	Reinforcing St	eel		40	40	25-Oct-24	23-Dec-24		<b>23-Dec</b>
219	SUB-2-1010		Develop Submittal	15	15	25-Oct-24	14-Nov-24		🔲 Develop Sub
220	SUB-2-1140		Review Submittal	10	10	15-Nov-24	02-Dec-24		Review Su
221	SUB-2-1270		Procure Material	15	15	03-Dec-24	23-Dec-24		
222	Structural Stee	el 🛛		130	130	06-Sep-24	19-Mar-25		
223	SUB-2-1020		Develop Submittal	55	55	06-Sep-24	21-Nov-24		Develop Su
224	SUB-2-1150		Review Submittal	20	20	22-Nov-24	23-Dec-24		Reviev
225	SUB-2-1280		Procure Material	50	50	22-Nov-24	10-Feb-25		
226	SUB-2-1390		Fabricate Steel	50	50	06-Jan-25	19-Mar-25		
227	Metal Decking			125	125	27-Sep-24	02-Apr-25		
228	SUB-2-1030		Develop Submittal	30	30	27-Sep-24	07-Nov-24		Develop Subr
229	SUB-2-1160		Review Submittal	15	15	08-Nov-24	02-Dec-24		Review St
230	SUB-2-1290		Procure Material	80	80	03-Dec-24	02-Apr-25		
231	Hollow Metal D	oors & Fi	rames	170	170	08-Nov-24	21-Jul-25		· · · · · · · · · · · · · · · · · · ·
232	SUB-2-1040		Develop Submittal	40	40	08-Nov-24	10-Jan-25		Dev
233	SUB-2-1170		Review Submittal	15	15	13-Jan-25	03-Feb-25		
234	SUB-2-1300		Procure Material	115	115	04-Feb-25	21-Jul-25		
235	Storefronts/Cu	rtain Wal	lls	195	195	28-Aug-24	13-Jun-25		· · · · · · · · · · · · · · · · · · ·
236	SUB-2-1050		Develop Submittal	80	80	28-Aug-24	23-Dec-24		Develo
237	SUB-2-1180		Review Submittal	15	15	26-Dec-24	17-Jan-25		Re
238	SUB-2-1310		Procure Material	100	100	21-Jan-25	13-Jun-25		
239	Exterior Skin			145	145	08-Nov-24	13-Jun-25		· · · · · · · · · · · · · · · · · · ·
240	SUB-2-1060		Develop Submittal	70	70	08-Nov-24	26-Feb-25		
241	SUB-2-1190		Review Submittal	15	15	27-Feb-25	19-Mar-25		
242	SUB-2-1320		Procure Material	60	60	20-Mar-25	13-Jun-25		
243	Roofing			135	135	08-Nov-24	30-May-25		•
244	SUB-2-1420		Develop Submittal	20	20	08-Nov-24	09-Dec-24		
245	SUB-2-1430		Review Submittal	15	15	10-Dec-24	03-Jan-25		Revie
246	SUB-2-1440		Procure Material	100	100	06-Jan-25	30-May-25		
247	Elevators			195	195	08-Nov-24	25-Aug-25		V
248	SUB-2-1070		Develop Submittal	60	60	08-Nov-24	10-Feb-25		
249	SUB-2-1200		Review Submittal	15	15	11-Feb-25	05-Mar-25		
250	SUB-2-1330		Procure Material	120	120	06-Mar-25	25-Aug-25		
251	Fire Suppressi	on	'	75	75	08-Nov-24	05-Mar-25		V
252	SUB-2-1080		Develop Submittal	40	40	08-Nov-24	10-Jan-25		Dev
253	SUB-2-1210		Review Submittal	15	15	13-Jan-25	03-Feb-25		
254	SUB-2-1340		Procure Material	20	20	04-Feb-25	05-Mar-25		
255	Plumbing		·	85	85	08-Nov-24	19-Mar-25		
256	SUB-2-1090		Develop Submittal	40	40	08-Nov-24	10-Jan-25		Dev
257	SUB-2-1220		Review Submittal	15	15	13-Jan-25	03-Feb-25		·····
258	SUB-2-1350		Procure Material	30	30	04-Feb-25	19-Mar-25		
259	HVAC		·	184	184	13-Sep-24	12-Jun-25		



#### GCC - Library Student Resource Center - #18 - DD 10.06.23

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Data Date: 06-Oct-23 Run Date: 04-Oct-23 Page 6 of 14

#	ACI	VITY ID	ACT	ACTIVITY NAME	ORIG	REM'G	START	FINISH	2024
			RESP		DUR	DUR			O N D J F M A M J Jul A S Oct N D J
260		SUB-2-1110		Develop Submittal	40	40	13-Sep-24	07-Nov-24	Develop Su
261		SUB-2-1240		Review Submittal	14	14	08-Nov-24	27-Nov-24	Review S
262		SUB-2-1370		Procure Insert & Ductwork	30	30	26-Dec-24	10-Feb-25	
263		SUB-2-1400		Procure Mechanical Equipment	130	130	02-Dec-24	12-Jun-25	
264		Electrical			245	245	19-Jul-24	16-Jul-25	
265		SUB-2-1100		Develop Submittal	30	30	19-Jul-24	29-Aug-24	Develop Submittal
266		SUB-2-1230		Review Submittal	15	15	03-Sep-24	23-Sep-24	Review Submittal
267		SUB-2-1360		Procure Gear & Switchboard	200	200	24-Sep-24	16-Jul-25	
268		SUB-2-1410		Procure Generator	180	180	24-Sep-24	17-Jun-25	
269		All Other Inc. 2	2 Submitt	als	95	95	08-Nov-24	02-Apr-25	
270		SUB-2-1120		Develop Submittal	40	40	08-Nov-24	10-Jan-25	D
271		SUB-2-1250		Review Submittal	15	15	13-Jan-25	03-Feb-25	
272		SUB-2-1380		Procure Material	40	40	04-Feb-25	02-Apr-25	
273		Building Inform	ation Mo	deling	180	180	04-Apr-24	23-Dec-24	¥ 23-D
274		Underground			40	40	04-Apr-24	31-May-24	▼ 31-May-24, Underground
275		BIM-1000		Base Scope Modeling	15	15	04-Apr-24	24-Apr-24	Base Scope Modeling
276		BIM-1040		Coordination & Model Updates	20	20	25-Apr-24	22-May-24	Coordination & Model Updates
277		BIM-1080		Sign-Off	0	0		22-May-24	♦ Sign-Off
278		BIM-1120		Provide Installation Drawings	5	5	23-May-24	31-May-24	Provide Installation Drawings
279		1st Floor			40	40	06-Sep-24	31-Oct-24	Provide Installation Drawings
280		BIM-1010		Base Scope Modeling	15	15	06-Sep-24	26-Sep-24	Base Scope Mode
281		BIM-1050		Coordination & Model Updates	20	20	27-Sep-24	24-Oct-24	Coordination
282		BIM-1090		Sign-Off	0	0		24-Oct-24	♦ Sign-Off
283		BIM-1130		Provide Installation Drawings	5	5	25-Oct-24	31-Oct-24	Provide Insta
284		2nd Floor			40	40	25-Oct-24	23-Dec-24	23-D
285		BIM-1020		Base Scope Modeling	15	15	25-Oct-24	14-Nov-24	
286		BIM-1060		Coordination & Model Updates	20	20	15-Nov-24	16-Dec-24	Соот
287		BIM-1100		Sign-Off	0	0	_	16-Dec-24	♦ Sign-
288		BIM-1140		Provide Installation Drawings	5	5	17-Dec-24	23-Dec-24	
289		Mock Ups			96	96	15-Nov-24	10-Apr-25	
290		Free Standing	Exterior V	Vall Materials	96	96	15-Nov-24	10-Apr-25	· · · · · · · · · · · · · · · · · · ·
291		MOCK-1000		Develop Design	40	40	15-Nov-24	17-Jan-25	
292		MOCK-1010		Procure Materials	60	60	17-Dec-24	19-Mar-25	
293		MOCK-1020		Pour Foundation	5	5	21-Jan-25	27-Jan-25	
294		MOCK-1030	_	Frame & Sheath	3	3	28-Jan-25	30-Jan-25	
295		MOCK-1040		Install Weather Barrier	2	2	31-Jan-25	03-Feb-25	
296		MOCK-1050	_	Install Storefront Systems	3	3	20-Mar-25	24-Mar-25	
297		MOCK-1060	_	Install Exterior Finishes	20	20	04-Feb-25	05-Mar-25	
298		MOCK-1070		Install Exterior Sealants	1	1	25-Mar-25	25-Mar-25	
299		MOCK-1080		Sealant Cure Time	10	10	26-Mar-25	08-Apr-25	
300		MOCK-1090		Review & Approve Finishes	5	5	26-Mar-25	01-Apr-25	
301		MOCK-1100		Perform Water Tests	2	2	09-Apr-25	10-Apr-25	
302		Pull Plans - Cor	nstructio		237	237	09-Jul-24	23-Jun-25	
303		PPC-1000		Construction - Demo Thru SOG	1	1	09-Jul-24	09-Jul-24	I Construction - Demo Thru SC
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Project ID: GCC-LSRC-F
Data Date: 06-Oct-23
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#	ACIVITY ID	ACT		ORIG	REM'G	START	FINISH		2024
		RESP		DUR	DUR			O N D	J F M A M J Jul A S Oct N D J
304	PPC-1020		Construction - SOG Thru Structure Complete	1	1	30-Jan-25	30-Jan-25		
305	PPC-1030		Construction - Structure Complete Thru Rough In	1	1	24-Apr-25	24-Apr-25		
306	PPC-1040		Construction - Structure Complete Thru Exterior Skin Complete	1	1	28-May-25	28-May-25		
307	PPC-1050		Construction - Rough In Thru Finishes	1	1	20-Jun-25	20-Jun-25		
308	PPC-1060		Construction - Finishes Thru Commissioning	1	1	23-Jun-25	23-Jun-25		
309	Construct	ion Se	rvices	504	504	27-Jun-24	14-Jul-26		
310	Mobilizatio	n		16	16	27-Jun-24	22-Jul-24		22-Jul-24, Mobilization
311	MOB-1000		USA Utilities	3	3	27-Jun-24	01-Jul-24		I USA Utilities
312	MOB-1010		Mobilize Trailers	3	3	02-Jul-24	08-Jul-24		Mobilize Trailers
313	MOB-1020		Install Site Perimeter Temp Fencing	1	1	02-Jul-24	02-Jul-24		I Install Site Perimeter Temp Fend
314	MOB-1030		Install SWPP Measures	2	2	02-Jul-24	03-Jul-24		I Install SWPP Measures
315	MOB-1040		Hook Up Temporary Utilities for Trailers	10	10	09-Jul-24	22-Jul-24		🔲 Hook Up Temporary Utilities
316	Increment	‡ 0 - Site	work	66	66	12-Jul-24	15-Oct-24		▼ 15-Oct-24, Incre
317	0-DSU-1000		Added Underground Scope	40	40	19-Aug-24	15-Oct-24		Added Undergra
318	0-DSU-1010		Install Medium & Low Voltage Conduits & Boxes	15	15	12-Jul-24	01-Aug-24		Install Medium & Low Volta
319	0-DSU-1020		Shut Down and Relocate (E) Transformer	2	2	09-Aug-24	12-Aug-24		Shut Down and Relocate
320	0-DSU-1030		Demo (E) Electrical in New Building Pad	4	4	13-Aug-24	16-Aug-24		Demo (E) Electrical in Ne
321	0-DSU-1040		Pull & Test New Cabling	5	5	02-Aug-24	08-Aug-24		Pull & Test New Capling
322	Increment	‡ 1 - Site	work	322	322	16-Oct-24	06-Feb-26		
323	Demo, Sitewo	ork & Utilit	ties	132	132	16-Oct-24	30-Apr-25		
324	DSU-1020		Clear & Grub New Building Pad	5	5	16-Oct-24	22-Oct-24		Clear & Grub N
325	DSU-1030		Rough Grade & Compact Building Pad	7	7	25-Oct-24	04-Nov-24		Rough Grade
326	DSU-1040		Install Retaining Wall & Waterproofing	30	30	05-Nov-24	18-Dec-24		Install
327	DSU-1050		Rough Grade Site	10	10	19-Dec-24	07-Jan-25		
328	DSU-1060		Install Sanitary Sewer	20	20	08-Jan-25	05-Feb-25		
329	DSU-1070		Install Storm Drain	20	20	06-Feb-25	07-Mar-25		
330	DSU-1080		Install Gas	8	8	21-Apr-25	30-Apr-25		
331	DSU-1090		Lime Treat the Building Pad	5	5	23-Oct-24	29-Oct-24		Lime Treat the
332	DSU-1100		Install Medium & Low Voltage	20	20	10-Mar-25	04-Apr-25		
333	DSU-1110		Install Domestic Water	10	10	07-Apr-25	18-Apr-25		
334	DSU-1120		Install Fire Water	20	20	10-Mar-25	04-Apr-25		
335	Finish Grade	& Landsc	aping	79	79	10-Oct-25	06-Feb-26		
336	FGL-1000		Install Sleeves for Landscape	5	5	10-Oct-25	16-Oct-25		
337	FGL-1010		Install Site Lighting	10	10	10-Oct-25	23-Oct-25		
338	FGL-1020		Place Base Rock for Flatwork	10	10	17-Oct-25	30-Oct-25		
339	FGL-1040		Form, Rebar & Pour Seatwalls & Small Retaining Walls	15	15	29-Oct-25	18-Nov-25		
340	FGL-1050		Install Generator	3	3	29-Oct-25	31-Oct-25		
341	FGL-1070		Form, Rebar & Pour Flatwork	20	20	19-Nov-25	18-Dec-25		
342	FGL-1080		Install Railings	5	5	19-Dec-25	29-Dec-25		
343	FGL-1090		Install Irrigation	15	15	05-Dec-25	29-Dec-25		
344	FGL-1100		Place Plant Material	10	10	30-Dec-25	14-Jan-26		
345	FGL-1110		Install Signage & Striping	5	5	15-Jan-26	22-Jan-26		



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346	FGL-1120		Install Site Furnishings	10	10	30-Dec-25	14-Jan-26			
347	FGL-1130		Place Mulch	3	3	23-Jan-26	27-Jan-26			
348	FGL-1140		Site Clean Up	5	5	02-Feb-26	06-Feb-26			
349	FGL-1150		Flatwork Caulking	3	3	28-Jan-26	30-Jan-26			
350	Increment #	2 - Buil	ding	285	285	19-Nov-24	20-Jan-26		-	
351	Foundations &	Slab on	Grade	118	118	19-Nov-24	14-May-25		▼	
352	FSOG-1120		Survey Grid Lines	2	2	19-Nov-24	20-Nov-24		I	Survey Grid
353	FSOG-1130		Layout & Excavate Foundations	10	10	10-Dec-24	23-Dec-24			📕 Layou
354	FSOG-1140		Layout & Excavate Elevator Pit	2	2	20-Dec-24	23-Dec-24			Layou
355	FSOG-1150		Form, Rebar & Pour Elevator Slab	3	3	26-Dec-24	30-Dec-24			I Form
356	FSOG-1160		Form, Rebar & Pour Elevator Pit Walls	8	8	02-Jan-25	13-Jan-25			🗖 For
357	FSOG-1170		Install Foudation Rebar & Embeds	20	20	26-Dec-24	27-Jan-25			
358	FSOG-1180		Inspect Foundations	1	1	28-Jan-25	28-Jan-25			
359	FSOG-1190		Place Concrete for Foundations	1	1	29-Jan-25	29-Jan-25			<b>I</b>
360	FSOG-1200		Form Slab Edge & Blockouts	10	10	06-Feb-25	21-Feb-25			
361	FSOG-1210		Elevator Pit Wall Concrete Cure	5	5	14-Jan-25	21-Jan-25			
362	FSOG-1220		Place Waterprrofing & Backfill Around Elevator Walls	5	5	22-Jan-25	28-Jan-25			F
363	FSOG-1230		Place Rock & Vapor Barrier for Slab on Grade	5	5	27-Feb-25	05-Mar-25			
364	FSOG-1240		Place Slab on Grade Rebar	7	7	03-Mar-25	11-Mar-25			
365	FSOG-1250		Inspect Slab on Grade	3	3	10-Mar-25	12-Mar-25			
366	FSOG-1260		Place Slab on Grade Pour #1	1	1	11-Mar-25	11-Mar-25			
367	FSOG-1270		Place Slab on Grade Pour #2	1	1	13-Mar-25	13-Mar-25			
368	FSOG-1280		Grout Base Plates	10	10	17-Apr-25	30-Apr-25			
369	FSOG-1290		Place Concrete at Blockouts	10	10	01-May-25	14-May-25			
370	Underslab Uti	lities		21	21	30-Jan-25	03-Mar-25			-
371	UU-1000		Install Sanitary Sewer	15	15	30-Jan-25	21-Feb-25			
372	UU-1010		Install Fire Riser	4	4	30-Jan-25	04-Feb-25			
373	UU-1020		Install Deep Electrical	8	8	30-Jan-25	10-Feb-25			
374	UU-1030		Install Shallow Branch Electrical	10	10	11-Feb-25	26-Feb-25			
375	UU-1040		Install RWL	7	7	18-Feb-25	26-Feb-25			
376	UU-1050		Install Domestic Water	3	3	24-Feb-25	26-Feb-25			
377	UU-1060		Install Floor Sinks & Trap Primmers	3	3	27-Feb-25	03-Mar-25			
378	Structure			49	49	20-Mar-25	29-May-25			
379	S-1000		Erect Structural Steel	25	25	20-Mar-25	23-Apr-25			
380	S-1010		Place 2nd Floor Deck	2	2	10-Apr-25	11-Apr-25			
381	S-1030		Plumb and Line Steel	20	20	03-Apr-25	30-Apr-25			
382	S-1040		Place Roof Deck	2	2	24-Apr-25	25-Apr-25			
383	S-1050		Spread & Weld 2nd Floor Decking	10	10	17-Apr-25	30-Apr-25			
384	S-1070		Install 2nd Floor Tempoary Guardrails	5	5	10-Apr-25	16-Apr-25			
385	S-1080		Spread & Weld Roof Decking	10	10	01-May-25	14-May-25			
386	S-1100		Install Roof Temporary Guardrails	5	5	17-Apr-25	23-Apr-25			
387	S-1110		Weld Structural Steel Level 1	15	15	03-Apr-25	23-Apr-25			
388	S-1120		Weld Structural Steel Level 2	15	15	24-Apr-25	14-May-25			
389	S-1140		Layout & Install 2nd Floor Deck Inserts & Sleeves	7	7	01-May-25	09-May-25			



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390	S-1160		Layout & Install Roof Deck Inserts	5	5	15-May-25	21-May-25					• •	· · ·		
391	S-1170		Erect Stairs	10	10	24-Apr-25	07-May-25								
392	S-1180		Place 2nd Floor Reinforcement	8	8	12-May-25	21-May-25								
393	S-1200		Inspect 2nd Floor Deck	3	3	22-May-25	28-May-25								
394	S-1220		Place Concrete at 2nd Floor Deck #1	1	1	27-May-25	27-May-25								
395	S-1230		Place Concrete at 2nd Floor Deck #2	1	1	29-May-25	29-May-25								
396	Exterior Encl	osure		142	142	24-Apr-25	14-Nov-25								
397	EE-1000		Remove Scaffold	3	3	07-Oct-25	09-Oct-25								
398	EE-1010		Install Exterior Lighting	5	5	23-Oct-25	29-Oct-25								
399	EE-1020		Install Exterior Signage	5	5	23-Oct-25	29-Oct-25								
400	EE-1030		Frame Exterior Wals	25	25	30-May-25	03-Jul-25								
401	EE-1040		Erect Scaffold	5	5	12-Aug-25	18-Aug-25								
402	EE-1050		Complete All Roof Framing & Sheathing Including Single Ply Backir	10	10	17-Jun-25	30-Jun-25								
403	EE-1060		Sheath Exterior	20	20	16-Jun-25	14-Jul-25								
404	EE-1070		Install Exterior Flashings	10	10	30-Jun-25	14-Jul-25								
405	EE-1080		Install Exterior Weather Barrier	15	15	01-Jul-25	22-Jul-25								
406	EE-1090		Install Lath & Trim	20	20	13-Aug-25	11-Sep-25								
407	EE-1100		Install Stucco Scratch Coat	4	4	12-Sep-25	17-Sep-25								
408	EE-1110		Install Stucco Brown Coat	5	5	18-Sep-25	24-Sep-25								
409	EE-1120		Install Stucco Finish Coat	8	8	25-Sep-25	06-Oct-25								
410	EE-1130		Install Exterior Decorative Finishes	20	20	25-Sep-25	22-Oct-25								
411	EE-1140		Install Storefront	20	20	15-Jul-25	11-Aug-25								
412	EE-1150		Install Curtain Wal	20	20	23-Jul-25	19-Aug-25								_
413	EE-1160		Exterior Painting	10	10	23-Oct-25	05-Nov-25								
414	EE-1170		Install Exterior Low Voltage Devices	7	7	06-Nov-25	14-Nov-25								
415	EE-1180		Waterproof & Backfill Retaining Walls	15	15	24-Apr-25	14-May-25								
416	Roof			61	61	22-May-25	19-Aug-25								
417	R-1000		Set Roof Drains	10	10	22-May-25	06-Jun-25								
418	R-1010		Set Mechanical Equipment	10	10	13-Jun-25	26-Jun-25								
419	R-1020		Install Roofing	20	20	01-Jul-25	29-Jul-25								
420	R-1030		Complete Utility Connections to Mechanical Equipment	15	15	30-Jul-25	19-Aug-25								
421	Interior			158	158	30-May-25	20-Jan-26								
422	1st Floor			152	152	30-May-25	09-Jan-26								
423	Interior Roug	gh In		98	98	30-May-25	17-Oct-25								
424	INT-RI-1-100	0	Frame & Hang Interference & Utility Wals	15	15	30-May-25	19-Jun-25								
425	INT-RI-1-101	0	Rough In Primary Duct	15	15	20-Jun-25	11-Jul-25								
426	INT-RI-1-102	0	Fire Sprinkler Rough In	15	15	20-Jun-25	11-Jul-25								
427	INT-RI-1-103	0	Set Door Frames	3	3	22-Jul-25	24-Jul-25								
428	INT-RI-1-104	0	Frame Interior Wals	20	20	20-Jun-25	18-Jul-25								
429	INT-RI-1-105	0	Set & Anchor Switchgear	4	4	18-Jul-25	23-Jul-25								
430	INT-RI-1-106	0	Pull In, Test & Make Up Electrical Feeders	4	4	24-Jul-25	29-Jul-25								
431	INT-RI-1-107	0	Fire Alarm Rough In	10	10	07-Jul-25	18-Jul-25								
432	INT-RI-1-108	0	Electrical Rough In for In Wal	15	15	07-Jul-25	25-Jul-25								
433	INT-RI-1-109	0	Plumbing Rough In	20	20	14-Jul-25	08-Aug-25								
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#	ACIV	ITY ID	ACT	ACTIVITY NAME	ORIG	REM'G	START	FINISH				2024		
			RESP		DUR	DUR			O N	DJ	FMA	M J Jul	A S Oct N	DJI
434		INT-RI-1-1100		Electrical Rough In Above Ceiling	20	20	14-Jul-25	08-Aug-25						
435		INT-RI-1-1110		Set VAV's	10	10	14-Jul-25	25-Jul-25						
436		INT-RI-1-1120		Rough In For HVAC Piping	10	10	28-Jul-25	08-Aug-25						
437		INT-RI-1-1130		Rough In For HVAC Branch Duct	10	10	28-Jul-25	08-Aug-25						
438		INT-RI-1-1140		Frame Hard Lids	10	10	13-Aug-25	26-Aug-25						
439		INT-RI-1-1150		Duct Insulation	6	6	11-Aug-25	18-Aug-25						
440		INT-RI-1-1160		Piping & Duct Identification	3	3	19-Aug-25	21-Aug-25						
441		INT-RI-1-1170		Frame & Sheath Elevator Shaft	8	8	27-Aug-25	09-Sep-25						
442		INT-RI-1-1180		Install Elevator Guiderails	7	7	10-Sep-25	18-Sep-25						
443		INT-RI-1-1190		Hang Drywall One Side	10	10	30-Jul-25	12-Aug-25						
444		INT-RI-1-1200		Insulate Wals	6	6	05-Aug-25	12-Aug-25						
445		INT-RI-1-1210		Hang Drywall Second Side	10	10	13-Aug-25	26-Aug-25						
446		INT-RI-1-1220		Tape & Top Drywall	15	15	20-Aug-25	11-Sep-25						
447		INT-RI-1-1230		Install Elevator Platform	5	5	24-Sep-25	30-Sep-25						
448		INT-RI-1-1240		Install Elevator Fronts	3	3	01-Oct-25	03-Oct-25						
449		INT-RI-1-1250		Install Elevatator Cab	10	10	06-Oct-25	17-Oct-25						
450		Interior Finish			90	90	27-Aug-25	09-Jan-26						
451		INT-F-1-1000		Install Cable Tray	10	10	27-Aug-25	11-Sep-25						
452		INT-F-1-1010		Pull & Make Up Branch Wire	15	15	27-Aug-25	18-Sep-25						
453		INT-F-1-1020		Painting	10	10	12-Sep-25	25-Sep-25						
454		INT-F-1-1030		Install Low Voltage Cabling	20	20	27-Aug-25	25-Sep-25						
455		INT-F-1-1040		Electrical Panel Make Up & Terminations	15	15	19-Sep-25	09-Oct-25						
456		INT-F-1-1050		Install Tile in Restrooms	15	15	26-Sep-25	16-Oct-25						
457		INT-F-1-1060		T-Bar Grid	15	15	26-Sep-25	16-Oct-25						
458		INT-F-1-1070		Install Projection Screens	4	4	26-Sep-25	01-Oct-25						
459		INT-F-1-1080		Install Casework	10	10	03-Oct-25	16-Oct-25						
460		INT-F-1-1090		Install Light Fixtures & Electrical Trim	10	10	07-Oct-25	20-Oct-25						
461		INT-F-1-1100		Install HVAC Grills & Diffusers	10	10	03-Oct-25	16-Oct-25						
462		INT-F-1-1110		Adjust Fire Sprinkler Drops	7	7	10-Oct-25	20-Oct-25						
463		INT-F-1-1120		Install Visual Display Devices	4	4	17-Oct-25	22-Oct-25						
464		INT-F-1-1130		Fire Extinguishers & Cabinets	2	2	17-Oct-25	20-Oct-25						
465		INT-F-1-1140		Install Acoustical Panels	4	4	17-Oct-25	22-Oct-25						
466		INT-F-1-1150		Install FRP	2	2	17-Oct-25	20-Oct-25						
467		INT-F-1-1160		Install Coutertops	3	3	17-Oct-25	21-Oct-25						
468		INT-F-1-1170		Install Acoustical Ceiling Tile	10	10	17-Oct-25	30-Oct-25						
469		INT-F-1-1180		Install Plumbing Finish	10	10	17-Oct-25	30-Oct-25						
470		INT-F-1-1190		Install Roller Shades & Window Shades	10	10	31-Oct-25	13-Nov-25						
471		INT-F-1-1200		Install All Low Voltage Devices	10	10	31-Oct-25	13-Nov-25						
472		INT-F-1-1210		Install Flooring	10	10	02-Dec-25	15-Dec-25						
473		INT-F-1-1220		Signage	3	3	02-Dec-25	04-Dec-25						
474		INT-F-1-1230		Install Doors & Hardware	7	7	16-Dec-25	26-Dec-25						
475		INT-F-1-1240		Install Toilet Partitions & Accessories	10	10	31-Oct-25	13-Nov-25						
476		INT-F-1-1250		Final Clean	5	5	05-Jan-26	09-Jan-26						
477		INT-F-1-1260		Install Library Shelving	10	10	16-Dec-25	02-Jan-26						
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CIVITY ID	ACT	ACTIVITY NAME	ORIG	REM'G	START	FINISH		2024		2026
	RESP		DUR	DUR			O N D J	F     M     A     M     J     Jul     A     S     Oct     N     D	J F M A M J Jul A S Oct N D J F M	AMJ
2nd Floor			143	143	20-Jun-25	20-Jan-26			20-Jan-2	26. 2nd Floor
Interior Roug			82	82	20-Jun-25	16-Oct-25				igh In
INT-RI-2-1000		Frame & Hang Interference & Utility Wals	12	12	20-Jun-25	08-Jul-25			Frame & Hang Interference & Utility W	/alls
INT-RI-2-1010		Rough In Primary Duct	15	15	09-Jul-25	29-Jul-25			Rough In Primary Duct Fire Sprinkler Rough In	
INT-RI-2-1020		Fire Sprinkler Rough In	15	15	09-Jul-25	29-Jul-25			Fire Sprinkler Rough In	
INT-RI-2-1030		Set Door Frames	3	3	09-Jul-25	11-Jul-25			Set Door Frames	
INT-RI-2-1040		Frame Interior Wals	20	20	09-Jul-25	05-Aug-25			Frame Interior Wals	
INT-RI-2-1060		Pull In, Test & Make Up Electrical Feeders	4	4	09-Jul-25	14-Jul-25			Pull In, Test & Make Up Electrical Fee	eders
INT-RI-2-1070		Fire Alarm Rough In	10	10	23-Jul-25	05-Aug-25			🔲 Fire Alarm Rough In	
INT-RI-2-1080		Electrical Rough In for In Wal	15	15	23-Jul-25	12-Aug-25			Electrical Rough In for In Wal	
INT-RI-2-1090		Plumbing Rough In	20	20	30-Jul-25	26-Aug-25			Electrical Rough In for In Wal Plumbing Rough In Electrical Rough In Above Ceili	
INT-RI-2-1100		Electrical Rough In Above Ceiling	20	20	30-Jul-25	26-Aug-25			Electrical Rough In Above Ceil	ing
INT-RI-2-1110		Set VAV's	10	10	30-Jul-25	12-Aug-25			Set VAV's	
INT-RI-2-1120		Rough In For HVAC Piping	10	10	13-Aug-25	26-Aug-25			Rough In For HVAC Piping	
INT-RI-2-1130	)	Rough In For HVAC Branch Duct	10	10	13-Aug-25	26-Aug-25			Rough In For HVAC Branch D Frame Hard Lids	uct
INT-RI-2-1140	)	Frame Hard Lids	10	10	27-Aug-25	11-Sep-25			Frame Hard Lids	
INT-RI-2-1150	)	Duct Insulation	6	6	27-Aug-25	05-Sep-25			Duct Insulation	
INT-RI-2-1160	)	Piping & Duct Identification	3	3	08-Sep-25	10-Sep-25			Diping & Duct Identification	
INT-RI-2-1170	)	Frame & Sheath Elevator Shaft	8	8	12-Sep-25	23-Sep-25			<ul> <li>Piping &amp; Duct Identification</li> <li>Frame &amp; Sheath Elevator</li> <li>Hang Drywall One Side</li> </ul>	Shaft
INT-RI-2-1190	)	Hang Drywall One Side	10	10	13-Aug-25	26-Aug-25			Hang Drywall One Side	
INT-RI-2-1200	)	Insulate Wals	6	6	19-Aug-25	26-Aug-25			Insulate Wals	
INT-RI-2-1210	)	Hang Drywall Second Side	10	10	12-Sep-25	25-Sep-25			Hang Drywall Second Side	e
INT-RI-2-1220	)	Tape & Top Drywall	15	15	26-Sep-25	16-Oct-25			Tape & Top Drywall	
Interior Finish	h		76	76	26-Sep-25	20-Jan-26			Hang Drywall Second Side Tape & Top Drywall 20-Jan-2	26, Interior F
INT-F-2-1000		Install Cable Tray	10	10	26-Sep-25	09-Oct-25			🗖 Install Cable Tray	
INT-F-2-1010		Pull & Make Up Branch Wire	15	15	26-Sep-25	16-Oct-25			🔲 Pull & Make Up Branch	n Wire
INT-F-2-1020		Painting	10	10	17-Oct-25	30-Oct-25			Pull & Make Up Branch Painting Install Low Voltage C	
INT-F-2-1030		Install Low Voltage Cabling	10	10	17-Oct-25	30-Oct-25			🔲 Install Low Voltage C	Jabling
INT-F-2-1040		Electrical Panel Make Up & Terminations	10	10	17-Oct-25	30-Oct-25			Install Low Voltage C Electrical Panel Make	e Up & Tem
INT-F-2-1050		Install Tile in Restrooms	15	15	31-Oct-25	20-Nov-25			Install life in Rest	rooms
INT-F-2-1060		T-Bar Grid	15	15	24-Oct-25	13-Nov-25			T-Baţ Grid	
INT-F-2-1070		Install Projection Screens	4	4	24-Oct-25	29-Oct-25			Install Projection Scre	eens
INT-F-2-1080		Install Casework	10	10	14-Nov-25	01-Dec-25			Install Casework	к.
INT-F-2-1090		Install Light Fixtures & Electrical Trim	10	10	31-Oct-25	13-Nov-25			Install Light Fixture	es & Electric
INT-F-2-1100		Install HVAC Grills & Diffusers	10	10	31-Oct-25	13-Nov-25			Install HVAC Grills	& Diffusers
INT-F-2-1110		Adjust Fire Sprinkler Drops	3	3	14-Nov-25	18-Nov-25			Adjust Fire Sprinkl	
INT-F-2-1120		Install Visual Display Devices	4	4	14-Nov-25	19-Nov-25			I Install Visual Disp	
INT-F-2-1130		Fire Extinguishers & Cabinets	2	2	02-Dec-25	03-Dec-25			Fire Extinguishe	
INT-F-2-1140		Install Acoustical Panels	6	6	02-Dec-25	09-Dec-25				
INT-F-2-1150		Install FRP	2	2	02-Dec-25	03-Dec-25			L Install FRP	
INT-F-2-1160		Install Coutertops	- 3	3	02-Dec-25	04-Dec-25			Install Couterto	DS
INT-F-2-1170		Install Acoustical Ceiling Tile	10	10	14-Nov-25	01-Dec-25				
INT-F-2-1180		Install Plumbing Finish	15	15	05-Dec-25	29-Dec-25			Install Plum	
INT-F-2-1190		Install Roller Shades & Window Shades	10	10	03-Dec-25	15-Dec-25				
1111-F-2-1190		Install Roller Shades & Window Shades	10	10	02-Dec-20	15-Dec-25				mades & M
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			RESP		DUR	DUR			O N D	J F M A M J Jul A S Oct N D	
522		INT-F-2-1200		Install All Low Voltage Devices	10	10	02-Dec-25	15-Dec-25			
523		INT-F-2-1210		Install Flooring	10	10	16-Dec-25	02-Jan-26			
524		INT-F-2-1220		Signage	3	3	16-Dec-25	18-Dec-25			
525		INT-F-2-1230		Install Doors & Hardware	6	6	05-Jan-26	12-Jan-26			
526		INT-F-2-1240		Install Toilet Partitions & Accessories	5	5	30-Dec-25	07-Jan-26			
527		INT-F-2-1250		Final Clean	5	5	13-Jan-26	20-Jan-26			
528		Start-Up & Te	esting		70	70	03-Nov-25	19-Feb-26			
529		STT-1000		Meduim Voltage Start-Up & Testing	5	5	03-Nov-25	07-Nov-25			
530		STT-1010		HVAC Controls & Start-Up	10	10	14-Nov-25	01-Dec-25			
531		STT-1020		Elevator Start-Up & Commissioing	10	10	10-Nov-25	21-Nov-25			
532		STT-1030		Low Voltage Start-Up & Testing	20	20	14-Nov-25	15-Dec-25			
533		STT-1040		Audio Visual Start-Up & Testing	10	10	14-Nov-25	01-Dec-25			
534		STT-1050		Lighting Controls Start-Up & Testing	10	10	16-Dec-25	02-Jan-26			
535		STT-1060		Access Control Start-Up & Testing	10	10	29-Dec-25	13-Jan-26			
536		STT-1070		HVAC Balance	20	20	05-Jan-26	02-Feb-26			
537		STT-1080		Security System Start-Up & Testing	5	5	14-Jan-26	21-Jan-26			
538		STT-1090		Fire Alarm Testing	4	4	03-Feb-26	06-Feb-26			
539		STT-1100		State Elevator Inspections	2	2	18-Feb-26	19-Feb-26			
540		Commission	ing & C	loseout	165	165	10-Nov-25	14-Jul-26			
541		CXCO-1000		Prep & Submit O&M's	20	20	10-Nov-25	09-Dec-25			
542		CXCO-1010		Prep & Submit Warranties	10	10	10-Nov-25	21-Nov-25			
543		CXCO-1020		Review Warranties	15	15	24-Nov-25	16-Dec-25			
544		CXCO-1030		Review O&M's	15	15	10-Dec-25	05-Jan-26			
545		CXCO-1040		Pre-Punch	15	15	21-Jan-26	10-Feb-26			
546		CXCO-1050		Prep & Submit As-Builts	20	20	16-Jan-26	17-Feb-26			
547		CXCO-1060		Commissioning	25	25	03-Feb-26	11-Mar-26			
548		CXCO-1070		Develop Punch List	5	5	11-Feb-26	19-Feb-26			
549		CXCO-1080		Demobilize	5	5	11-Feb-26	19-Feb-26			
550		CXCO-1090		Complete Punch List	20	20	20-Feb-26	19-Mar-26			
551		CXCO-1100		Review As-Builts	15	15	18-Feb-26	10-Mar-26			
552		CXCO-1110		Training & Demonstrations	10	10	12-Mar-26	25-Mar-26			
553		CXCO-1130		DSA Closeout	30	30	02-Jun-26	14-Jul-26			
554		Delays			808	623	10-Jan-23 A	16-Apr-26			
555		Weather Allo	wance		20	20	20-Mar-26	16-Apr-26			
556		DEL-1000		Inclement Weather Aloowance	20	20	20-Mar-26	16-Apr-26			
557		Program Ref	inemer		678	493	10-Jan-23 A	03-Oct-25			
558		DEL-2000		Planned to Start Schematic Design Per Schedule #2	0	0	09-Feb-23 A		ign Per Sched	  µle #2	
559		DEL-2010		Meeting with Gavilan Executive Team	1	0	10-Jan-23 A	10-Jan-23 A	h		
560		DEL-2020		Develop revised programming documents per Exectuive Team	10	0	11-Jan-23 A	15-Feb-23 A	documents pe	r Exectuive Team	
561		DEL-2030	-	Develop cost model / schedule for updated program	10	0	11-Jan-23 A	15-Feb-23 A	for updated p		
562		DEL-2040		Review Updated Program Concept and Budget	10	0	11-Jan-23 A	15-Feb-23 A	cept and Budg		
563		DEL-2050		Follow up programming for new offices, admin, board room spaces	20	0	11-Jan-23 A	15-Feb-23 A		, board room spaces	
				reaction approgramming for new onlocs, admin, board room spaces	20	U	11 0011-2074	10105-2074			



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#	ACIVITY ID	ACT	ACTIVITY NAME	ORIG	REM'G	START	FINISH	2024 2025 2026
		RESP		DUR	DUR			O N D J F M A M J Jul A S Oct N D J F M A M J Jul A S Oct N D J F M A M J Jul A S Oct N D J F M A M J
564	DEL-2060		BOT Approval of Revised Program/Budget	1	0	16-Feb-23 A	16-Feb-23 A	A am/Budget
565	DEL-2070		Additional Time Needed for Concept Refinement & Development	25	0	04-Apr-23 A	30-Jun-23 A	A Time Needed for Concept Refinement & Development
566	DEL-2080		Projected to Start Schematic Design	0	0	03-Jul-23 A		o Start Schematic Design
567	DEL-2090		Program Confirmation & Programming Additional Space/Scope	5	0	17-Feb-23 A	02-Mar-23 A	A pramming Additional Space/Scope
568	DEL-2120		Building 95% CD Package Approval Per Schedule Update #2	0	0		06-Oct-23*	♦ Building 95% CD Package Approval Per Schedule Update #2
569	DEL-2130		Substantial Completion Per Schedule Update #2	0	0		03-Oct-25*	Substantial Completion Per Schedule L
570	DEL-2140		Site & Building Program Validation Workshops	10	0	03-Mar-23 A	17-Mar-23 A	
571	DEL-2150		Concept Development	10	0	20-Mar-23 A	03-Apr-23 A	
572	DEL-3000		Planned to Submit Schematic Design to the College Per Update #	0	0		10-Aug-23 A	
573	DEL-3010		Schematic Design Refinement Based on District Comments	15	0	11-Aug-23 A	31-Aug-23 A	A chematic Design Refinement Based on District Comments
574	DEL-3020		Transmit Revised Floor Plans to the College	0	0	22-Aug-23 A		nsmit Revised Floor Plans to the College
575	DEL-3030		Schematic Design Budget Update Based on District Comments	11	11	23-Oct-23	06-Nov-23	Schematic Design Budget Update Based on District Comments
576	DEL-3040		Serafin Review Floor Plan with Executive Team & Stakeholders	5	0	25-Aug-23 A	09-Oct-23	Serafin Review Floor Plan with Executive Team & Stakeholders
577	DEL-3050		Distribute Revised Floor Plan Backgrounds to Design Team	1	1	09-Oct-23	09-Oct-23	I Distribute Revised Floor Plan Backgrounds to Design Team
578	DEL-3060		Final Comments / Approval of Floor From the College	0	0		09-Oct-23	♦ Final Comments / Approval of Floor From the College
579	DEL-3070		Design Team Uploads Revised Plans to ACC	5	5	10-Oct-23	16-Oct-23	Design Team Uploads Revised Plans to ACC
580	DEL-3080		JKAE - QC & Collate Plans & Specs	4	4	17-Oct-23	20-Oct-23	JKAE - QC & Collate Plans & Specs



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# Gavilan College Library & Student Resource Center (LSRC)

#### **Schematic Design Submittal**

## **END OF DOCUMENT**